



CITY OF SANTA BARBARA

COUNCIL AGENDA REPORT

AGENDA DATE: January 27, 2015

TO: Mayor and Councilmembers

FROM: Planning Division, Community Development Department

SUBJECT: Appeal Of Planning Commission And Single Family Design Board Approvals Of 511 Brosian Way

RECOMMENDATION:

That Council deny the appeal of Patricia Foley of the application of Brian Cearnal, architect for John and Grace Park, and uphold the Planning Commission's approval of a Coastal Development Permit and the Single Family Design Board's Project Design Approval for the proposed single-family residence; and direct staff to return to Council with Decision and Findings reflecting the outcome of the appeal.

EXECUTIVE SUMMARY:

On November 6, 2014, the Planning Commission granted approval of a Coastal Development Permit (CDP) to construct a new single-family residence on a vacant lot. On November 14, 2014, Ms. Foley filed an appeal of the Planning Commission's approval, which primarily raised design issues largely within the purview of the Single Family Design Board (SFDB) (Attachment 1). Staff directed the applicant to continue in the review process to the SFDB prior to processing the appeal so that the appeal issues might be resolved or, if a second appeal was filed of the resulting SFDB decision, the Council hearing of the two appeals could be consolidated. On December 15, 2014, a slightly smaller and revised project received Project Design Approval from the SFDB, and on January 5, 2015, Ms. Foley filed an appeal of that decision (Attachment 2).

The Planning Commission and the SFDB gave appropriate consideration to the project, applicable ordinances and guidelines, and concerns of members of the public, and found that the project's size, finished floor elevation, grading, and architectural style are acceptable and compatible with the site and the neighborhood. Staff supports the project and recommends that Council deny the appeal and uphold the Planning Commission and the SFDB approvals.

DISCUSSION:

Project Description

The revised project as approved by the SFDB involves construction of a 4,656 square foot one-story single-family residence, with an attached 533 square foot two-car garage, a 198 square foot one-car carport, and two uncovered parking spaces. The proposal also includes an outdoor pool and spa, landscaping, and approximately 600 cubic yards of cut grading and 3,560 cubic yards of fill grading on a 2.2 acre lot in the Hillside Design District. The proposed total of 5,387 square feet of development is 95% of the guideline maximum Floor-to-lot Area Ratio (FAR).

The proposal was reduced after the appeal of the Planning Commission's approval of the CDP was filed and prior to returning to the SFDB for a design approval. The changes are summarized in the table below.

Planning Commission CDP approval	SFDB approval & current proposal
5,886 total net square feet	5,387 total net square feet
0.06 = 104% of maximum guideline FAR	0.056 = 95% of maximum guideline FAR
Building height = 24.5 feet; two stories	Building Height = 23.5 feet; one story
3 car garage; 750 square feet	2 car garage/1 car carport; 731 square feet
Fill grading = 3,870 cubic yards	Fill grading = 3,560 cubic yards
Cut grading = 510 cubic yards	Cut grading = 600 cubic yards
Import fill material = 3,360 cubic yards	Import fill material = 2,960 cubic yards
	Building footprint shifted north
	Reduced, and eliminated clerestory windows

Planning Commission Review

This application requires Planning Commission review of a CDP because the project is located partially within the Appealable Jurisdiction of the Coastal Zone next to a small, localized drainage channel. The project site is located approximately 2,000 feet inland from the coast, so the typical coastal issues of seacliff retreat, shoreline access, and scenic public views are not relevant. The primary coastal issues considered by staff and the Planning Commission were neighborhood compatibility and the creek environment. The landscape plan includes native riparian plantings along the drainage channel as recommended by the Creeks Division.

The Planning Commission approved the CDP on November 6, 2014 after careful consideration of neighborhood compatibility and grading. Public testimony at the hearing included similar concerns as raised in the appeal. The Planning Commission forwarded comments to the SFDB to consider some design-related items in their subsequent review: reduce the lantern effect of interior lighting; soften the appearance of the project with landscaping, and; include in the record an explanation of why exceeding the maximum guideline FAR is acceptable. The Planning Commission did not require nor suggest a reduction of the size of the house or amount of grading (Attachments 3 and 4 – PC Minutes and Resolution).

SFDB Review

This application requires design review by the SFDB because the building height is greater than 17 feet and proposes grading in excess of 50 cubic yards outside the footprint of the main building.

At the initial conceptual design review meeting on April 7, 2014, the applicant explained the primary goals of the project to provide ocean views from the house and have the floor plan all on one accessible level so that the extended family can age in place. This same basic concept has proceeded through the review process since then. The SFDB reviewed the project three times prior to the Planning Commission approval, and once afterward when they approved the revised project as submitted (Attachment 5 – SFDB Minutes).

Appeal Issues

The appellant listed fourteen points in her appeal of the Planning Commission's approval, filed on November 14, 2014, and included fourteen points for the appeal of the SFDB's approval in her letter filed on January 5, 2015. Several concerns are expressed in both letters. These points can be summarized as follows:

- the quantity of grading and imported fill are excessive
- elevating the building pad on an artificial grade is inappropriate
- the project does not comply with Hillside Design District guidelines
- the size of the house and FAR are too large
- the architectural style is incompatible with the neighborhood
- the large expanse of glass doors and windows will cause light pollution
- the project will change the character of the existing neighborhood

Other concerns mentioned in the letters are the lack of hand-delivered notices to neighbors, posting a notice at the site, and the calculation of the FAR (Attachments 1 and 2). Below are staff's responses to the issues raised in the appeal.

Excessive grading:

The Single Family Residence Design Guidelines include specific provisions for projects within the Hillside Design District. Guidelines regarding grading state generally that grading should be limited in order to avoid erosion, visual, and other impacts. This proposal is not in compliance with some of the specific grading guidelines such as minimizing grading, and balancing cut and fill on site; however, it does comply with guidelines such as mimicking natural contours, minimizing the visual impact of grading, and avoiding visual scarring. The building is situated at the rear of the site, which slopes up from Brosian Way. The 2,960 cubic yards of imported fill material will be placed under the southern part of the building and patio, and around the front of the building footprint to create a gradual slope around the building and patio. The slope will be contoured to give a natural appearance without requiring retaining walls and be fully landscaped with drought-tolerant plantings. The large front yard will be screened with a fence, landscaping, and trees. The approved project would have an apparent building height of approximately 16 to 21 feet, with the height of the garage at 10 feet. Although the quantity of overall grading is large, a comprehensive evaluation of the project as a whole shows that the grading scheme does avoid erosion, visual impacts, and does not significantly modify the topography, or create other impacts. In this case, the Planning Commission and the SFDB found the quantity of grading to be acceptable in proportion to the 2.2 acre lot, and that it is used to accomplish the goals of the project while maintaining a low apparent building height and a natural landscaped appearance. The grading poses no negative impacts as indicated in the grading findings made by the SFDB.

Elevating the building pad:

The neighborhood, and the project site, basically slopes gently downward from north to south toward the ocean. The placement of the house on the lot and the finished floor elevation were established by determining the height that would allow the occupants to have a view of the ocean over the roof of the adjacent house to the south at 507 Brosian Way, while not impinging the ocean view from the adjacent house to the north at 523 Brosian Way. The existing elevation of the proposed building site ranges from approximately 217 to 228 feet above sea level. The proposed finished floor of the single-level house would be at 227 feet. At this elevation, the northwest corner of the house is at, or slightly below, existing grade. To maintain a level and accessible floor plan, the proposal uses fill soil to raise the grade approximately 10 feet at the lower (south) end of the building footprint. The proposed fill grading will extend the existing grade at the upper end of the building footprint laterally toward the east and south to achieve the level floor plan. Relative to the two adjacent westerly lots, this is a few feet lower than 3260 Braemar Drive, and a few feet higher than 3250 Braemar Drive, and well below the houses to the north. Story poles outlining the building and the upper roof forms were erected on October 17, 2014, prior to the October 20, 2014 SFDB hearing. The lower parts of the poles were painted green to indicate the fill grading under the

floor, and ribbons were installed stretching outward to indicate the height and extent of the fill grading outside the building footprint.

The vertical height of the fill grading at the southern end of the building footprint is accounted for within the building height measurement. Just as the Zoning Ordinance imposes lateral site constraints in the form of required setbacks from property lines, it has a vertical constraint of the building height limit of 30 feet above either existing or finished grade, whichever is lower. The proposed project has a maximum building height of approximately 23.5 feet measured from existing grade, which includes the height of the fill grading under the building footprint. Alternative design concepts that would not require as much fill grading were shown to the Planning Commission and the SFDB. One alternative could be a full two-story building within the height limit of 30 feet with an ocean view from the upper floor; however, this would have a much greater apparent height, and would not be responsive to the City's Good Neighbor Guidelines and Tips for considering neighbors' views. Alternatively, the one-story floor level could be lowered, with the upper end of the house, parking area, and driveway cut more deeply into the existing grade. This alternative is not acceptable to the applicant because it would compromise their view of the ocean, and the adjacent neighbors who could potentially have private view impacts support the project as approved.

Noncompliance with Hillside Design District guidelines:

The Hillside Housing Design Guidelines describe techniques for building on hillsides where development tends to be more visible to the public. Because this lot has a moderate slope of 12% and the proposed design easily fits within the 30 foot height limit without stepping the building down with the slope, special techniques for building on hillsides are not needed for this project. It would not be possible to achieve a level floor plan with the proposed height of 23.5 feet above existing grade, including the height of fill grading under the building footprint, if the site were steeply sloped. The proposal is consistent with most of the houses in the area, which were developed with graded building pads, and do not step down the slope.

Size, bulk, and scale, and FAR are too large:

Neighborhood compatibility is an important issue for the proposed infill development on a vacant lot. Applications before the SFDB that involve relatively large proposals typically include submittal of a study of the 20 closest lots with respect to house size, lot size, and FAR. Given that the project site exceeds 15,000 square feet, the FAR is calculated for guideline purposes only and not for the purpose of establishing a maximum allowance. The study for the area around this project shows a wide range of lot sizes from one-quarter acre to over five acres. Houses in the survey area range from 1,577 to 6,236 square feet and FARs range from 0.01 to 0.29. As shown in the table above, the proposal was reduced in size prior to SFDB approval, and resulted in an FAR of 0.056. Among the 20 closest lots, the subject project would be fifth largest in total square footage, and 14th largest in FAR. Although the floor area of the proposed house is large, both SFDB and the Planning Commission have found that it is

scaled appropriately for the large site. The overall bulk and scale is further concealed by the moderately sloped, landscaped site and the building's low height and muted colors.

Architectural style is incompatible:

The contemporary architectural style was supported from the first SFDB concept review and throughout the process. Along with the variety in house sizes and lot sizes, this area is developed with various architectural styles, including a mix of ranch style and Spanish style. Farther north on Brosian Way are examples of contemporary houses. The proposed contemporary design shares some general characteristics commonly found among these styles in the neighborhood with its low massing, low-pitched roofs, wide overhanging eaves, and simplified detailing. These characteristics of the massing somewhat emulate the 1960's ranch style seen elsewhere in the area. Its design and materials are of high quality in keeping with the neighborhood.

Large expanses of glass will result in nighttime light pollution:

The potential for night pollution from the clerestory windows was mentioned by the SFDB and the Planning Commission; however, neither the City's Outdoor Lighting Guidelines nor the Single Family Residence Design Guidelines address interior lighting; they only consider the potential impacts of exterior lighting. Although interior lighting is not unique to this project and not in conflict with ordinances or guidelines, the project was revised prior to the SFDB approval to reduce the clerestory windows in response to the comments received.

The project is not compatible with the character of the Braemar Ranch area:

The existing character of the neighborhood and how it might be affected by this proposal was evaluated carefully by the decision-makers. Both the Planning Commission and SFDB approvals included findings of compatibility, consistent with the Local Coastal Plan, and the Neighborhood Preservation Ordinance. While this house will add one more contemporary reference point for compatibility of future development in the neighborhood, the neighborhood overall still retains a variety of house sizes and styles. The area is zoned A-1, low density residential, and the lot sizes provide generous space between houses, allowing for a more eclectic mix of styles.

The project site is not in a location highly visible to the public. Story poles outlining the building and the upper roof forms were not visible from any surrounding streets; they could only be seen after entering Brosian Way.

The applicant failed to hand-deliver notices to neighbors and post a sign at the site as required:

In addition to the required mailed notice sent to owners of property within 300 feet of the project site (and to residents within 100 feet of the site for CDPs), the City may also require that applicants post a notice on the project site and, for SFDB projects, hand-deliver notices to the ten closest neighbors. This additional requirement for single-

family residential projects is intended to put project applicants in contact with their neighbors and provide the opportunity to discuss projects prior to public hearings. The Municipal Code expressly states that failure to provide the additional forms of notice "shall not constitute grounds for any court to invalidate the actions of the City for which the notice was given." The failure to properly provide these additional forms of notice was unintentional, and staff should have directed the applicant to do this. The owner did meet early on with the neighbors to explain the project and discuss any concerns or requests.

The FAR calculation should not include the area of the creek and its setback.

Floor-to-lot-Area Ratios are calculated based on net lot size, which excludes only area within a public right-of-way. Although many lots may be further constrained by natural or man-made features, these areas are not removed from the FAR calculation, and are instead considered in terms of a project's consistency with applicable policies and guidelines. In this case, although the lot area occupied by the small drainage channel at the northern edge of the property is likely unbuildable, it factors into the overall FAR calculation, and provides open space and buffering on the project site, consistent with the Local Coastal Plan.

The appellant concluded the appeal letters by requesting that the project be reduced in size and height, lower the height of the building pad, respect the slope of the site, and be more sympathetic to the character of the neighborhood.

Conclusion

Both the Planning Commission and the SFDB gave appropriate consideration to the project, including concerns of neighborhood compatibility and grading. This project was reviewed with consideration of the particular site characteristics and how it fits into its neighborhood setting. The proposed finished floor height and fill grading were determined to be acceptable to attain the desired finished floor elevation and level floor plan because it results in a low apparent building height, is sensitive to the immediate neighbors, the architecture and materials are of high quality, and the large lot size is able to accommodate the proposal.

Staff recommends that Council deny the appeal and uphold the Planning Commission's approval of the CDP with their conditions of approval, and the SFDB's Project Design Approval. In that case, the revised project as approved by the SFDB on December 15, 2014 can be found in substantial conformance with the Planning Commission's approval and would proceed to obtain a final design review approval and a building permit.

ATTACHMENTS:

1. Planning Commission Appeal Letter dated November 14, 2014
2. SFDB Appeal Letter dated January 5, 2015
3. Planning Commission Minutes of November 6, 2014
4. Planning Commission Resolution No. 027-14
5. Single Family Design Board Minutes of April 7, June 16, October 20, and December 15, 2014
6. Reduced copies of plans including building elevations

NOTE: Public comment letters received for this project are available for public viewing at the City Clerk's office and Planning Division. The SFDB-approved plans and photographs of story poles have been placed in the Mayor and Council's Office and are available for public review in the City Clerk's Office.

PREPARED BY: Tony Boughman, Assistant Planner

SUBMITTED BY: George Buell, Community Development Director

APPROVED BY: City Administrator's Office

City of Santa Barbara
City Clerk's Office
City Council

RECEIVED

2014 NOV 14 PM 4:30

November 14, 2014

CITY OF SANTA BARBARA
CITY CLERK'S OFFICE

Appeal of Decision by the Planning Commission

Date of Meeting: November 6, 2014

We are appealing the Planning Commission's approval of the Coastal Development Permit (CDP) for 511 Brosian Way, Santa Barbara, CA

Application of Brian Cearnel, Architect for John Park, 511 Brosian Way, APN 047-030-011, A-1 Zone, Local Coastal Plan Designation: Low Density Residential (MST2014-00149)(CDP2014-00011)

We appeal all Planning Commission approvals on the following grounds:

1. This project at 511 Brosian Way, located in a Hillside Design District, calls for excessive grading of 3870 cubic yards of fill in an area where the Single Family Residence Design Guidelines states more than 500 cubic yards of fill is to be avoided. 3870 cubic yards of fill will require 380 truckloads of dirt within the Coastal area adjacent to a dry creek.
2. The applicant failed to meet the requirement of the Single Family Design Board and hand deliver notices of

the project to the neighbors. This is a requirement should not be waived.

3. The north and east boundary of the property at 511 Brosian Way has a dry creek that comes to life in the rainy season. The creek and its setback are not buildable and therefore should not be counted in the lot size to calculate the FAR. The creek and setback were not removed from the buildable area when the FAR was calculated. The plans show a section 50 by 250 feet as being non-buildable. This is 12,500 square feet.
4. Neighborhood Compatibility- The project is not compatible with the Braemar Ranch neighborhood in terms of its size, mass, bulk, and scale. The average house in the entire Braemar Ranch area is actually smaller than the applicant's 20 house average. The applicant selected 20 of the largest houses and found the average size is 4000 square feet. This house is 5886 square feet, almost 2000 square feet over the average and 104% over FAR (floor to area ratio). We ask that the size of the house be reduced. Mrs. Pujo of the Planning Commission stated she was concerned by this 104% of FAR as the constant "creep" of houses that keep getting larger. 85% of FAR is the suggested size. City commissions allow these houses to get larger and larger when they know the public is against this practice. 85% of FAR is the guideline. Let's stay closer to that figure.

5. Raising the building pad ten or more feet above the existing grade with excessive fill of 3870 cubic yards and placing a two-story structure on top of it is not compatible with our neighborhood. Our homes on slopes are nestled in the hills so as not to be seen by their neighbors. This massive man made hill and house will loom over the neighbors and impact the surrounding neighbors' ambiance and neighborhood view of their surroundings.
6. The project lacks merit as it shows no respect for the Hillside Design District in which it is located.
7. This is an aggressive project in its amount of fill and for its huge house size. This is a flatland house being placed on an artificially created building pad of 3870 cubic yards of fill. This project is not compatible with a sloped lot in the Hillside Design District of Braemar Ranch in the Campanil neighborhood. Further, the house is actually placed in the back of the lot where the slope is close to 20%.
8. Neighborhood Compatibility- The design of the house is too modern and looks utilitarian, like a giant commercial factory from the street on the east and from the neighbors on the west. This prominent severe modern massing is not compatible with Braemar Ranch, a rural bucolic neighborhood zoned for agriculture where residents have raised horses, goats, chickens, ducks, geese, and even pot bellied pigs. Residents have truck farms and orchards and have sold their produce at our local Farmer's Market. This

house is completely out of character with our rural neighborhood. Looking at the elevations one can see what an enormous commercial looking structure this house is.

-
-
-
-
9. Neighborhood Compatibility- Wanting a better ocean view is not reason enough to raise the building pad 10 feet above the original lot elevation. It allows this extremely long house to loom over the street and the neighbors below.

 10. Nighttime Pollution- The large walls of glass will be another in a series of lights lighting up the night sky. This in an area that has two street lights. This glass house will look like a beacon on a hill and obscure the stars. It will be very prominent from all the surrounding houses.

 11. The Planning Commission told us our area is in transition. We ask WHY? It is because our City boards and commissions allow out of area applicants to design houses that are not compatible with our neighborhoods like the Braemar Ranch Hillside neighborhood where houses are nestled into the hillside so as not to be seen by the house above. It seems if our area is in transition it is in part because of the Planning Commission and the SFDB. We reject the notion that these commissions and boards will determine our neighborhood character. In three years time will they be allowing applicants to create building

pads with 6000 cubic yards of fill and allow 10,000 square foot houses?

12. The newly contoured lot with the applicant's fill will create a 20% slope or more on the property. Therefore, by their own actions they now must follow the Hillside Housing Design Guidelines and step the house into the hill by terracing it, varying the roof line, and honor the sloping landscape and the building guidelines set up by the City of Santa Barbara after many years of planning and public input.
13. This house sets a precedent in the City of Santa Barbara and certainly in our area by raising the building pad 10 feet into the air to get a better ocean view. If you allow this house to be built as designed you will open the flood gates for every designer to flaunt our City Guidelines, including Neighborhood Compatibility, and build enormous houses with excessive grading in many of our neighborhoods. Send this house back to the drawing board, reduce the height and size of the building pad, design a house that fits in our rural area, require the applicant to follow our rules and respect our slopes by terracing the house into the hill and break up its unending line on its own created ridgeline.
14. Two people spoke in favor of this house at the Planning Commission meeting November 6, 2014. Their brief testimony should be discounted. One is an active builder named, David Young. He built the three largest houses in our neighborhood. The ABR at the time

down played the sizes of the houses by saying they are up a private driveway and will not really be seen or impact the area. Now they are used in calculating the average house size. The other speaking was the neighbor above this project. The driveway to his house is on an easement on this applicant's property.

We ask that the applicant reduce the scope of the project, reduce the size of the house, design a house that is sympathetic to the character of the neighborhood, lower the height of the building pad, and respect the City's Hillside Design designation of this neighborhood by respecting the existing slope as illustrated in the Single Family Residence Design Guidelines.

Signed, Patricia Foley
Patricia Foley, ^{APPELLANT} applicant and *PF*

Former President of the Braemar Ranch Homeowners Association

515 Braemar Ranch Lane
Santa Barbara, CA
93109
805-452-1108

City of Santa Barbara
City Clerk's Office
City Council

RECEIVED

2015 JAN -5 PM 3: 01

January 3, 2015
CITY OF SANTA BARBARA
CITY CLERK'S OFFICE

Appeal of Decision by the Single Family Design Board

Date of Meeting: December 15, 2014

We are appealing the Single Family Design Board's approval of the project located at 511 Brosian Way, Santa Barbara, CA

Application of Brian Cearnal, Architect for John Park, 511 Brosian Way, APN 047-030-011, A-1 Zone, Local Coastal Plan Designation: Low Density Residential (MST2014-00149)(CDP2014-00011)

We appeal the Single Family Design Board approvals on the following grounds:

1. This project at 511 Brosian Way, located in a Hillside Design District, calls for excessive grading of approximately 3000 cubic yards of fill in an area where the Single Family Residence Design Guidelines states more than 500 cubic yards of fill is to be avoided and the cut should equal the fill. 3000 cubic yards of fill will require 300 truckloads of dirt within the Coastal area adjacent to a dry creek.
2. Both the applicant and the architect failed to meet the requirement of the Single Family Design Board and hand deliver notices of the project to the adjacent neighbors. This is a requirement and should not be waived. Many neighbors were not aware of this project

as of October 2014. By not approaching the neighbors, the applicant and architect did not meet the neighbors and get to know the neighborhood as they should have. Had they done so we may not be here today. Even Mr. Sweeney of the SFDB remarked that the neighbors had not been contacted and had not seen the plans.

3. To this day there has never been a yellow development sign placed on this lot. Again many neighbors were not aware of this project.
4. The architect, Brian Cearnal, says the property is not located in a Hillside Design District and he does not have to follow the city's Hillside Design Guidelines. The City map shows clearly that it is located in a Hillside Design District.
5. The Single Family Design Board staff omitted two letters from the SFBD packet for the December 15, 2014 meeting. These letters opposed this project. One of the letters was from the Allied Neighborhood Association, an umbrella group for all neighborhood associations in the City of Santa Barbara. This letter shows other community organizations have deep concerns about this practice of placing houses on tall man made hills. The Board members never saw it.
6. Based on the discussion of the Single Family Design Board in their review process some board members did not seem to think it important to follow their own Hillside Design District Guidelines and were basing their decision on the particular needs of this applicant.
7. The project lacks merit as it shows no respect for the Hillside Design District in which it is located. This is a

flatland house being placed on an artificially created building pad of 3000 cubic yards of fill ten feet or more above the street. This project is not compatible with a sloped lot in the Hillside Design District of Braemar Ranch in the Campanil neighborhood. Further, the house is actually placed in the back of the lot where the slope is closer to 20%.

8. Raising the building pad ten or more feet above the existing grade with excessive fill of 3000 cubic yards and placing a structure on top of it is not compatible with our neighborhood or any neighborhood in the City. Our homes on slopes are nestled into the hills so as not to be seen by their neighbors. This massive man made hill and house will loom over the neighbors and impact the surrounding neighbors' ambiance and view of their surroundings. It is not the kind of building we want to see in our city.
9. The newly contoured lot with the applicant's fill **will create a 20% slope or more on the property.** Therefore, by their own actions they must follow the Hillside Housing Design Guidelines and step the house into the hill by terracing it, varying the roof line, and honor the sloping landscape and the building guidelines set up by the City of Santa Barbara after many years of planning and public input.
10. This project as designed has less to do with the house not being next door and more to do with setting a precedent in our entire city. Building a house on a ten foot high artificial dirt mound will start a trend in the City of Santa Barbara and is of concern to many areas of the City. Therefore the SFDB should

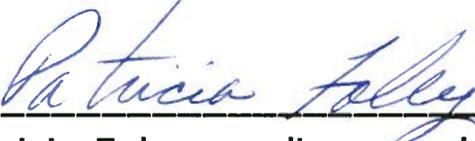
be listening to ALL our citizens and not discounting letters because they are not from adjacent neighbors. They also should not be approving this project because a couple neighbors are in favor. This is a City wide issue. This is a Malibu/LA style of building and we in the entire city must be vigilant that this type of project does not take root here.

11. If you allow this house to be built as designed you will open the flood gates for every designer to flaunt our City Guidelines, including Neighborhood Compatibility, and build large houses with excessive grading in many of our neighborhoods. This is a City issue and not just a Campanil issue. Send this house back to the drawing board to reduce the height and size of the building pad and require the applicant to follow our rules and respect our slopes by terracing the house into the hill and break up its unending line on its own created ridgeline.
12. Neighborhood Compatibility- Wanting a better ocean view is not reason enough to raise the building pad 10 feet above the original lot elevation. It allows this extremely long house to loom over the street and the neighbors below.
13. Neighborhood Compatibility- The design of the house is too modern and looks utilitarian, like a giant commercial factory from the street on the east and from the neighbors on the west. This prominent severe modern massing is not compatible with Braemar Ranch, a rural bucolic neighborhood zoned for agriculture. This house is completely out of character with our neighborhood. Looking at the elevations one

can see what an large commercial looking structure this house is.

14. Nighttime Light Pollution- The large walls of glass with smaller windows above will be another in a series of lights lighting up the night sky. This in an area that has two street lights. This glass house will look like a beacon on a hill and obscure the stars. It will be very prominent above all the surrounding houses below.

We ask the applicant to be a good neighbor and reduce the scope of the project, LOWER the height of the building pad, design a house that is sympathetic to the rural character of the neighborhood, and respect the City's Hillside Design designation of this neighborhood by respecting the existing slope as illustrated in the Single Family Residence Design Guidelines.

Signed,  _____
Patricia Foley, applicant and

Former President of the Braemar Ranch Homeowners Association



City of Santa Barbara

Planning Division

PLANNING COMMISSION MINUTES

November 6, 2014

CALL TO ORDER:

Chair Schwartz called the meeting to order at 1:06 P.M.

I. ROLL CALL

Chair Deborah L. Schwartz, Vice Chair Addison Thompson, Commissioners John P. Campanella, Mike Jordan, Sheila Lodge, and June Pujo.

Absent: Commissioner Bruce Bartlett

STAFF PRESENT:

Renee Brooke, Senior Planner
 N. Scott Vincent, Assistant City Attorney
 Allison De Busk, Project Planner
 Tony Boughman, Assistant Planner
 Julie Rodriguez, Planning Commission Secretary

II. PRELIMINARY MATTERS:

A. Action on the review of the following Draft Minutes and Resolutions:

1. Draft Minutes of October 16, 2014

MOTION: Thompson/Lodge

Approve the minutes.

This motion carried by the following vote:

Ayes: 6 Noes: 0 Abstain: 0 Absent: 1 (Bartlett)

2. Resolution No. 025-14
 120 E. Pedregosa Street

MOTION: Thompson/Jordon

Approve the resolution.

This motion carried by the following vote:

Ayes: 6 Noes: 0 Abstain: 0 Absent: 1 (Bartlett)

3. Draft Minutes of October 23, 2014

III. NEW ITEM:

ACTUAL TIME: 1:12 P.M.

APPLICATION OF BRIAN CEARNAL, ARCHITECT FOR JOHN PARK, 511 BROSIAN WAY, APN 047-030-011, A-1 ZONE, LOCAL COASTAL PLAN DESIGNATION: LOW DENSITY RESIDENTIAL (MST2014-00149)(CDP2014-00011)

The project consists of the construction of a 5,886 square foot, two-story, single-family residence including an attached three-car garage on a vacant 2.2 acre lot in the Hillside Design District. The project includes a pool and spa, landscaping, 3,870 cubic yards of fill grading, and 510 yards of cut grading.

The discretionary application required for this project is a Coastal Development Permit to allow the proposed development in the Appealable Jurisdiction of the City's Coastal Zone (SBMC § 28.44.060).

The project requires an environmental finding pursuant to California Environmental Quality Act Guidelines Section 15183 (Projects Consistent with the General Plan).

Case Planner: Tony Boughman, Assistant Planner

Email: TBoughman@SantaBarbaraCA.gov

Phone: (805) 564-5470, ext. 4539

Tony Boughman, Assistant Planner, gave the Staff presentation.

Brian Cearnal, Cearnal Andralaitis Architects, gave the Applicant presentation, joined by John Park, Owner.

Chair Schwartz opened the public hearing at 1:36 P.M.

The following people spoke in support of the project:

1. David Young, adjacent neighbor
2. Taka Nomura, adjacent neighbor

The following people spoke in opposition to the project or with concerns:

1. Margaret Niehaus, neighbor, expressed concern over the fill grading and high placement of the house and wants to be sure that it fits in with the contour of the neighborhood.
2. Patricia Foley, neighbor, submitted written comments, and expressed concerns with elevating the grade of the site, gentrification of the neighborhood, this lot no longer contributing to the rural atmosphere, and the size of the proposed house and quantity of grading not being compatible with the neighborhood.

With no one else wishing to speak, the public hearing was closed at 1:46 P.M.

Fred Sweeney, Single Family Design Board (SFDB) Chair, stated that the SFDB supported the project with a 3/2 vote. Asked that the Planning Commission look at the context and fabric in which the home sits in terms of three-dimensional forms. It is a neighborhood in transition and the Applicant has taken a reasonable design approach. The proposed house is at the level of the house to the immediate west. The landscaping treatment in the foreground of the project was supported by SFDB.

MOTION: Jordan/Thompson

Assigned Resolution No. 027-14

Approved the project, making the findings for the Environmental Review and Coastal Development Permit as outlined in the Staff Report, dated October 30, 2014, subject to the Conditions of Approval in Exhibit A of the Staff Report with the following revisions to the Conditions of Approval:

1. Restrict grading, excavation, and transport of fill material to weekdays, Monday-Friday. No Weekends or Holidays.
2. Include standard exterior lighting condition.
3. Change B.4. to begin with, "The Owner shall maintain the required native riparian landscaping..." and pluralize "oak tree" in the second sentence.

The Commission made advisory comments to forward to the SFDB:

1. Minimize the lantern effect of interior lighting.
2. Encourage use of landscaping to soften the perimeter of the site.
3. Review the Southern elevation to better fit in with the topography and soften the appearance of the structure atop the retaining wall.
4. Ensure landscaping meets water-wise requirements for drought tolerance.
5. Include in the record an explanation of why exceeding the maximum guideline FAR is acceptable.

This motion carried by the following vote:

Ayes: 6 Noes: 0 Abstain: 0 Absent: 1 (Bartlett)

Chair Schwartz announced the ten calendar day appeal period.

Chair Schwartz called for a recess at 3:16 P.M. and reconvened the meeting at 3:31 P.M.



City of Santa Barbara California

CITY OF SANTA BARBARA PLANNING COMMISSION

RESOLUTION NO. 027-14 511 BROSIAN WAY COASTAL DEVELOPMENT PERMIT NOVEMBER 6, 2014

APPLICATION OF BRIAN CEARNAL, ARCHITECT FOR JOHN PARK, 511 BROSIAN WAY, APN 047-030-011, A-1 ZONE, LOCAL COASTAL PLAN DESIGNATION: LOW DENSITY RESIDENTIAL (MST2014-00149)(CDP2014-00011)

The project consists of the construction of a 5,886 square foot, two-story, single-family residence including an attached three-car garage on a vacant 2.2 acre lot in the Hillside Design District. The project includes a pool and spa, landscaping, 3,870 cubic yards of fill grading, and 510 yards of cut grading.

The discretionary application required for this project is a Coastal Development Permit to allow the proposed development in the Appealable Jurisdiction of the City's Coastal Zone (SBMC § 28.44.060).

The project requires an environmental finding pursuant to California Environmental Quality Act Guidelines Section 15183 (Projects Consistent with the General Plan).

WHEREAS, the Planning Commission has held the required public hearing on the above application, and the Applicant was present.

WHEREAS, two people appeared to speak in favor of the application, and two people appeared to speak in opposition thereto, and the following exhibits were presented for the record:

1. Staff Report with Attachments, October 30, 2014.
2. Site Plans
3. Correspondence received in support of the project:
 - a. Robert Forouzandeh, via email
 - b. Jennifer Conrow, via email
 - c. Thomas E. & Cynthia L. Evans, via email
 - d. Rosa Choi & Richard Chung, via email
4. Correspondence received in opposition to the project or with concerns:
 - a. Bob & Margaret Niehaus, via email
 - b. Jeff & Janna Young, via email
 - c. Walter Knapp, via email
 - d. Lori Rafferty, via email
 - e. Patricia Foley, via email
 - f. Shelley Bookspan, via email
 - g. Bob Bowski, via email

- h. Andrew Gottlieb, via email
- i. Dr. & Mrs. Ron Green, via email
- j. Patricia Marquart, via email

NOW, THEREFORE BE IT RESOLVED that the City Planning Commission:

I. Approved the subject application making the following findings and determinations:

A. **ENVIRONMENTAL REVIEW**

The project qualifies for an exemption from further environmental review under CEQA Guidelines Section 15183, based on the City staff analysis and the CEQA Certificate of Determination on file for this project.

B. **COASTAL DEVELOPMENT PERMIT (SBMC §28.44.150)**

- 1. The project is consistent with the policies of the California Coastal Act because it does not result in any adverse effects related to coastal resources, including hazards, views and public access, as described in Section VI.B of the Staff Report.
- 2. The project is consistent with all applicable policies of the City's Local Coastal Plan, all applicable implementing guidelines, and all applicable provisions of the Code because the project will not increase hazards related to sea cliff retreat or fire services, will not affect lateral access across the beach, will not impact public views, and is compatible with the neighborhood as described in Sections VI.B. and VIII of the Staff Report.

II. Said approval is subject to the following conditions:

A. **Order of Development.** In order to accomplish the proposed development, the following steps shall occur in the order identified:

- 1. Obtain all required design review approvals.
- 2. Pay Land Development Team Recovery Fee (30% of all planning fees, as calculated by staff) at time of building permit application.
- 3. Record any required documents (see Recorded Conditions Agreement section).
- 4. Permits.
 - a. Submit an application for and obtain a Building Permit (BLD) for construction of approved development and complete said development.
 - b. Submit an application for and obtain a Public Works Permit (PBW) for all required public improvements and complete said improvements.

Details on implementation of these steps are provided throughout the conditions of approval.

B. **Recorded Conditions Agreement.** The Owner shall execute a *written instrument*, which shall be prepared by Planning staff, reviewed as to form and content by the City Attorney, Community Development Director and Public Works Director, recorded in the Office of the County Recorder, and shall include the following:

- 1. **Approved Development.** The development of the Real Property approved by the Planning Commission on November 6, 2014 is limited to the construction of a new

single-family residence totaling approximately 5,886 square feet of building area including the 750 square foot attached garage and the associated improvements shown on the plans signed by the chairperson of the Planning Commission on said date and on file at the City of Santa Barbara.

2. **Uninterrupted Water Flow.** The Owner shall allow for the continuation of any historic flow of water onto the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
 3. **Recreational Vehicle Storage Limitation.** No recreational vehicles, boats, or trailers shall be stored on the Real Property unless enclosed or concealed from view as approved by the Single Family Design Board (SFDB).
 4. **Landscape Plan Compliance.** The Owner shall maintain the required native riparian landscaping in the area between the existing asphalt road and the northern property line, along the drainage channel (the area is approximately 15'x 250'), as approved by the Creeks Division and the SFDB. The Owner shall also preserve, protect and maintain the existing oak trees to remain, as shown on the approved Landscape Plan. These specific landscaping elements on the Real Property shall be provided and maintained in accordance with said landscape plan, including any tree protection measures. If said landscaping elements are removed for any reason without approval by the SFDB, the owner is responsible for their immediate replacement.
 5. **Storm Water Pollution Control and Drainage Systems Maintenance.** Owner shall maintain the drainage system and storm water pollution control devices in a functioning state and in accordance with the Storm Water BMP Guidance Manual and Operations and Maintenance Procedure Plan approved by the Creeks Division. Should any of the project's surface or subsurface drainage structures or storm water pollution control methods fail to capture, infiltrate, and/or treat water, or result in increased erosion, the Owner shall be responsible for any necessary repairs to the system and restoration of the eroded area. Should repairs or restoration become necessary, prior to the commencement of such repair or restoration work, the Owner shall submit a repair and restoration plan to the Community Development Director to determine if an amendment or a new Building Permit and Coastal Development Permit are required to authorize such work. The Owner is responsible for the adequacy of any project-related drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to the Real Property or any adjoining property.
- C. **Design Review.** The project, including public improvements, is subject to the review and approval of the Single Family Design Board (SFDB). The SFDB shall not grant project design approval until the following Planning Commission land use conditions have been satisfied.
1. **Native Riparian Landscape Plan.** Native riparian planting shall be installed and maintained in the area between the existing asphalt road and the property line along the drainage channel (the area is approximately 15'x 250') as approved by the Creeks Division and SFDB.
 2. **Tree Protection Measures.** The landscape plan (and grading plan) shall include the following tree protection measures:

- a. **Landscaping Under Trees.** Landscaping under the tree(s) shall be compatible with the preservation of the tree(s), as determined by the SFDB.
 - b. **Oak Trees.** The following additional provisions shall apply to existing oak trees proposed to remain on site:
 - (1) No irrigation system shall be installed within three feet of the dripline of any oak tree.
 - (2) The use of herbicides or fertilizer shall be prohibited within the drip line of any oak tree.
 - (3) No storage of heavy equipment or materials, or parking shall take place within five (5) feet of the dripline of any oak tree.
3. **Exterior Lighting.** All exterior lighting shall conform to the City's Outdoor Lighting & Streetlight Design Guidelines. Exterior lighting shall be designed to control glare, minimize light trespass onto adjacent properties, and minimize direct upward light transmission.
 4. **Screened Backflow Device.** The backflow devices for fire hydrant private line, fire sprinklers, pools, spas and/or irrigation systems shall be provided in a location screened from public view or included in the exterior wall of the building, as approved by the SFDB.
 5. **Location of Dry Utilities.** Dry utilities (e.g. above-ground cabinets) shall be placed on private property unless deemed infeasible for engineering reasons. If dry utilities must be placed in the public right-of-way, they shall be painted "Malaga Green," and if feasible, they shall be screened as approved by SFDB.
 6. **Green Building Techniques Required.** Owner shall design the project to meet Santa Barbara Built Green Three-Star level requirement or equivalent.
- D. **Requirements Prior to Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following, for review and approval by the Department listed below prior to the issuance of any permit for the project. Some of these conditions may be waived for demolition or rough grading permits, at the discretion of the department listed. Please note that these conditions are in addition to the standard submittal requirements for each department.
1. **Public Works Department.**
 - a. **Public Improvements.** The Owner shall submit public improvement plans for construction of a new residential fire hydrant located within 500 feet of all exterior walls of the residence. Any work in the public right-of-way requires a Public Works Permit.
 - b. **Water Rights Assignment Agreement.** The Owner shall assign to the City of Santa Barbara the exclusive right to extract ground water from under the Real Property in an *Agreement Assigning Water Extraction Rights*. Engineering Division Staff prepares said agreement for the Owner's signature.

2. **Community Development Department.**

- a. **Recordation of Agreements.** The Owner shall provide evidence of recordation of the written instrument that includes all of the Recorded Conditions identified in condition A “Recorded Conditions Agreement” to the Community Development Department prior to issuance of any building permits.
- b. **Drainage and Water Quality.** The project is required to comply with Tier 3 of the Storm Water BMP Guidance Manual, pursuant to Santa Barbara Municipal Code Chapter 22.87 (treatment, rate and volume). The Owner shall submit a hydrology report prepared by a registered civil engineer or licensed architect demonstrating that the new development will comply with the City’s Storm Water BMP Guidance Manual. Project plans for grading, drainage, stormwater facilities and treatment methods, and project development, shall be subject to review and approval by the City Building Division and Public Works Department. Sufficient engineered design and adequate measures shall be employed to ensure that no unpermitted construction-related or long-term effects from increased runoff, erosion and sedimentation, urban water pollutants (including, but not limited to trash, hydrocarbons, fertilizers, bacteria, etc.), or groundwater pollutants would
- c. **Design Review Requirements.** Plans shall show all design, landscape and tree protection elements, as approved by the appropriate design review board and as outlined in Section C “Design Review,” and all elements/specifications shall be implemented on-site.
- d. **Conditions on Plans/Signatures.** The final Resolution shall be provided on a full size drawing sheet as part of the drawing sets. A statement shall also be placed on the sheet as follows: The undersigned have read and understand the required conditions, and agree to abide by any and all conditions which are their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

		Date
Contractor	Date	License No.
Architect	Date	License No.
Engineer	Date	License No.

- E. **Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction, including demolition and grading.
 - 1. **Construction Contact Sign.** Immediately after Building permit issuance, signage shall be posted at the point of entry to the site that list the contractor(s) name and telephone

number(s) to assist Building Inspectors and Police Officers in the enforcement of the conditions of approval. The font size shall be a minimum of 0.5 inches in height. Said sign shall not exceed six feet in height from the ground if it is free-standing or placed on a fence. It shall not exceed six square feet in a single family zone.

2. **Construction-Related Truck Trips.** Construction-related truck trips for trucks with a gross vehicle weight rating of three tons or more shall not be scheduled during peak hours (7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m.) in order to help reduce truck traffic on adjacent streets and roadways.
3. **Construction Days.** Construction activities involving excavating, grading, importing and exporting of soil materials shall only be permitted Monday through Friday, and shall be prohibited on Saturdays, Sundays, and the following holidays:

New Year's Day	January 1st*
Martin Luther King, Jr. Day	3rd Monday in January
Presidents' Day	3rd Monday in February
Memorial Day	Last Monday in May
Independence Day	July 4th*
Labor Day	1st Monday in September
Thanksgiving Day	4th Thursday in November
Following Thanksgiving Day	Friday following Thanksgiving Day
Christmas Day	December 25th*

*When a holiday falls on a Saturday or Sunday, the preceding Friday or following Monday, respectively, shall be observed as a legal holiday.

When, based on required construction type or other appropriate reasons, it is necessary to do work outside the allowed construction hours, contractor shall contact the City to request a waiver from the above construction hours, using the procedure outlined in Santa Barbara Municipal Code §9.16.015 Construction Work at Night. Contractor shall notify all residents within 300 feet of the parcel of intent to carry out said construction a minimum of 48 hours prior to said construction. Said notification shall include what the work includes, the reason for the work, the duration of the proposed work and a contact number.

4. **Air Quality and Dust Control.** The following measures shall be shown on grading and building plans and shall be adhered to throughout grading, hauling, and construction activities:
 - a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this should include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency should be required whenever the wind speed exceeds 15 mph. Reclaimed water should be used whenever possible. However, reclaimed water should not be used in or around crops for human consumption.
 - b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.

- c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
 - d. Gravel pads or other means to prevent tracking of mud from the project site shall be installed at all access points.
 - e. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.
 - f. The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to land use clearance for map recordation and land use clearance for finish grading of the structure.
 - g. All portable diesel-powered construction equipment shall be registered with the state's portable equipment registration program OR shall obtain an APCD permit.
 - h. Fleet owners of mobile construction equipment are subject to the California Air Resource Board (CARB) Regulation for In-use Off-road Diesel Vehicles (Title 13 California Code of Regulations, Chapter 9, § 2449), the purpose of which is to reduce diesel particulate matter (PM) and criteria pollutant emissions from in-use (existing) off-road diesel-fueled vehicles. For more information, please refer to the CARB website at www.arb.ca.gov/msprog/ordiesel/ordiesel.htm.
 - i. All commercial diesel vehicles are subject to Title 13, § 2485 of the California Code of Regulations, limiting engine idling time. Idling of heavy-duty diesel construction equipment and trucks during loading and unloading shall be limited to five minutes; electric auxiliary power units should be used whenever possible.
5. **Unanticipated Archaeological Resources Contractor Notification.** Standard discovery measures shall be implemented per the City master Environmental Assessment throughout grading and construction: Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and the Owner shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

A final report on the results of the archaeological monitoring shall be submitted by the City-approved archaeologist to the Environmental Analyst within 180 days of completion of the monitoring and prior to any certificate of occupancy for the project.

F. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:

1. **Repair Damaged Public Improvements.** Repair any public improvements (curbs, gutters, sidewalks, roadways, etc.) or property damaged by construction subject to the review and approval of the Public Works Department per SBMC §22.60. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of a qualified arborist.
2. **Complete Public Improvements.** Public improvements as shown in the public improvement plans (Section II.D.1) shall be completed.
3. **New Construction Photographs.** Photographs of the new construction, taken from the same locations as those taken of the story poles prior to project approval, shall be taken, attached to 8 ½ x 11” board and submitted to the Planning Division.

G. **General Conditions.**

1. **Compliance with Requirements.** All requirements of the city of Santa Barbara and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met. This includes, but is not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.), the 1979 Air Quality Attainment Plan, and the California Code of Regulations.
2. **Approval Limitations.**
 - a. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
 - b. All buildings, roadways, parking areas and other features shall be located substantially as shown on the plans approved by the Planning Commission.
 - c. Any deviations from the project description, approved plans or conditions must be reviewed and approved by the City, in accordance with the Planning Commission

Guidelines. Deviations may require changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

3. **Litigation Indemnification Agreement.** In the event the Planning Commission approval of the Project is appealed to the City Council, Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors (“City’s Agents”) from any third party legal challenge to the City Council’s denial of the appeal and approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively “Claims”). Applicant/Owner further agrees to indemnify and hold harmless the City and the City’s Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of being notified of a lawsuit regarding the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City’s sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City’s Agents from independently defending any Claim. If the City or the City’s Agents decide to independently defend a Claim, the City and the City’s Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

III. NOTICE OF COASTAL DEVELOPMENT PERMIT TIME LIMITS:

The Planning Commission action approving the Coastal Development Permit shall expire two (2) years from the date of final action upon the application, per Santa Barbara Municipal Code §28.44.230, unless:

1. Otherwise explicitly modified by conditions of approval for the coastal development permit.
2. A Building permit for the work authorized by the coastal development permit is issued prior to the expiration date of the approval.
3. The Community Development Director grants an extension of the coastal development permit approval. The Community Development Director may grant up to three (3) one-year extensions of the coastal development permit approval. Each extension may be granted upon the Director finding that: (i) the development continues to conform to the Local Coastal Program, (ii) the applicant has demonstrated due diligence in completing the development, and (iii) there are no changed circumstances that affect the consistency of the development with the General Plan or any other applicable ordinances, resolutions, or other laws.

IV. NOTICE OF TIME LIMITS FOR PROJECTS WITH MULTIPLE APPROVALS (S.B.M.C. § 28.87.370):

If multiple discretionary applications are approved for the same project, the expiration date of all discretionary approvals shall correspond with the longest expiration date specified by any of the land use discretionary applications, unless such extension would conflict with state or federal law. The expiration date of all approvals shall be measured from date of the final action of the City on the longest discretionary land use approval related to the application, unless otherwise specified by state or federal law.

This motion was passed and adopted on the 6th day of November, 2014 by the Planning Commission of the City of Santa Barbara, by the following vote:

AYES: 6 NOES: 0 ABSTAIN: 0 ABSENT: 1 (Bartlett)

I hereby certify that this Resolution correctly reflects the action taken by the city of Santa Barbara Planning Commission at its meeting of the above date.

Julie Rodriguez, Planning Commission Secretary

Date

PLEASE BE ADVISED:

THIS ACTION OF THE PLANNING COMMISSION CAN BE APPEALED TO THE CITY COUNCIL WITHIN TEN (10) CALENDAR DAYS AFTER THE DATE THE ACTION WAS TAKEN BY THE PLANNING COMMISSION.

CONCEPT REVIEW - NEW ITEM**10. 511 BROSIAN WAY****A-1/SD-3 Zone****(7:30)**

Assessor's Parcel Number: 047-030-011
Application Number: MST2014-00149
Owner: John Park
Architect: Cearnal Andrulaitis

(Proposal for a 4,600 square foot, two-story, single-family home with an attached three-car garage on a vacant 2.2 acre lot in the Hillside Design District. A squash court and pool are also proposed.)

(Comments only.)

Actual time: 8:11 p.m.

Present: Brian Cearnal, Architect; and John Park, Architect.

Public comment opened at 8:17 p.m. As no one wished to speak, public comment was closed.

Motion: Continued indefinitely to Full Board with comments:

- 1) The Board supports the style and quality of materials, and compatibility of the architecture.
- 2) Study the effects of interior lighting of the tower element on neighboring properties.
- 3) Provide a landscape plan.
- 4) Ensure good neighbor guidelines are applied.

Action: Miller/Pierce, 6/0/0. Motion carried. (James absent).

CONCEPT REVIEW - NEW ITEM: PUBLIC HEARING**7. 511 BROSIAN WAY****A-1/SD-3 Zone**

(6:55) Assessor's Parcel Number: 047-030-011
Application Number: MST2014-00149
Owner: John Park
Architect: Cearnal Andrulaitis

(Proposal for a 6,689 square foot, two-story, single-family home with an attached three-car garage on a vacant 2.2 acre lot in the Hillside Design District. The project includes a pool and spa, indoor squash court, site work, landscaping, and 6,250 cubic yards of grading. The proposed development is 103% of the maximum guideline floor-to-lot area ratio (FAR).)

(Project Design Approval requested. Project was last reviewed for a one-time concept review on April 7, 2014.)

Actual time: 6:54 p.m.

Present: Brian Cearnal, and Joe Andrulaitis, Architects; and Jack Kiesel, Landscape Architect.

Public comment opened at 7:04 p.m.

- 1) Tom Evans, a neighbor west of the project, expressed concerns regarding the impact of the landscape plan to the east property line, proper drainage due to elevation changes, the lighting in relation to neighboring homes, and the excess in easement size. He suggested having story poles erected on the site.
- 2) Robert Forouzandeh, who represented his family's home in close proximity of the project, spoke in support of the project.
- 3) Taka Nomura, a neighbor north of the project, expressed concerns regarding the obstruction of his ocean views, the actual height of the proposed project, and the issues with grading and fill. He suggested having story poles erected on the site.
- 4) Carl and Marilyn Kocher, neighbors in close proximity of the proposed project, submitted a letter with expressed concerns regarding the compatibility of the home to the existing neighborhood and the excessive amount of grading. They suggested having story poles erected on the site.
- 5) Lori Rafferty, a neighbor in close proximity of the proposed project, submitted a letter with expressed concerns regarding the disproportionate size, bulk and scale of the proposed project, and the issues dealing with drainage and runoff from the amount of grading.
- 6) Cy and Laura Lyon, neighbors in close proximity of the proposed project, submitted a letter with expressed concerns regarding the conformity of the home to the existing neighborhood in addition to the excessive grading. They suggested having story poles erected on the site.
- 7) Jana Young, a neighbor in close proximity, submitted a letter with expressed concerns regarding the compatibility of the home to the existing neighborhood in addition to issues with the raising the elevation.

Public comment closed at 7:26 p.m.

Motion: Continued two weeks to return to Full Board with comments:

- 1) Provide Level B story poles showing finished and existing grade in addition to the roof line of the loft, the two tallest roof elements, and the perimeter of the building.

Action: Zimmerman/Pierce, 6/0/0. Motion carried. (Sweeney absent).



City of Santa Barbara

Planning Division

SINGLE FAMILY DESIGN BOARD MINUTES

Monday, October 20, 2014 **David Gebhard Public Meeting Room: 630 Garden Street** **3:00 P.M.**

BOARD MEMBERS: FRED SWEENEY, *Chair*
 BRIAN MILLER, *Vice-Chair*
 BERNI BERNSTEIN
 LISA JAMES
 JAIME PIERCE
 DENISE WOOLERY
 JIM ZIMMERMAN

CITY COUNCIL LIAISON: DALE FRANCISCO
PLANNING COMMISSION LIAISON: ADDISON THOMPSON
PLANNING COMMISSION LIAISON (ALTERNATE): BRUCE BARTLETT

STAFF: JAIME LIMÓN, Design Review Supervisor
 DAVID ENG, Planning Technician
 AMBER FLEMMINGS, Commission Secretary

Website: www.SantaBarbaraCA.gov

An archived video copy of this regular meeting of the Single Family Design Board is viewable on computers with high speed internet access on the City website at www.SantaBarbaraCA.gov/SFDBVideos.

CALL TO ORDER.

The Full Board meeting was called to order at 3:05 p.m. by Chair Sweeney.

ATTENDANCE:

Members present: Sweeney, Miller, Bernstein, James, and Pierce.
Members absent: Woolery and Zimmerman.
Staff present: Eng, Limón, and Flemmings.

GENERAL BUSINESS:

A. Public Comment:

No public comment.

B. Approval of the minutes:

Motion: Approval of the minutes of the Single Family Design Board meeting of **October 6, 2014**, as submitted.

Action: James/Bernstein, 5/0/0. Motion carried. (Woolery/Zimmerman absent).

SFDB-CONCEPT REVIEW (CONT.)**1. 511 BROSIAN WAY****A-1/SD-3 Zone**

(3:15) Assessor's Parcel Number: 047-030-011
 Application Number: MST2014-00149
 Owner: John Park
 Architect: Cearnal Andrulaitis, LLP

(Proposal to construct a 5,888 square foot, single-story residence with lofted bedroom space, an attached three-car garage, and two-car uncovered parking on a vacant 2.2 acre lot. The proposal includes an outdoor pool and spa, landscaping, and 510 cubic yards of cut grading and, 3,870 cubic yards of fill grading. The proposed total of 5,888 square feet of development in the Hillside Design District and both the appealable and non-appealable jurisdictions of the Coastal Zone is 104% of the guideline maximum floor-to-lot area ratio. This project includes Planning Commission Review for a Coastal Development Permit.)

(Third Concept Review. Comments only; project requires Planning Commission review for a Coastal Development Permit. Project was last reviewed on June 16, 2014.)

Actual time: 3:10 p.m.

Present: Brian Cearnal and Jeff Hornbuckle, Architects; John Park, Owner; and Tony Boughman, Case Planner.

Public comment opened at 3:18 p.m.

- 1) Robert Forouzandeh, immediate neighbor to the south, spoke in support of the size, height, and style of the project as being appropriate for the neighborhood.
- 2) Dawn Woods, immediate neighbor to the northwest, spoke in support of the height, and the project.
- 3) David Young, immediate neighbor to the west, spoke in support of the project.
- 4) Tom Evans, immediate neighbor to the west, expressed support for the project and appreciated that the applicant responded to his concerns about the height, the setback, and the lighting issues.

A letter in support of the project from Rosa Choi and Richard Chung was acknowledged. Letters of expressed concerns from Lori Rafferty, The Foleys, and Bob Bowski were acknowledged.

Public comment closed at 3:34 p.m.

Motion: Continued indefinitely to Planning Commission for return to Full Board with comments:

- 1) In general, the Board finds the project to be compatible regarding size, bulk and scale as it relates to the site and the neighborhood.
- 2) Study "smart" glazing for the clerestory windows.
- 3) Study an undulating design for the fence along Brosian Way, giving consideration to landscaping in the foreground and background this area.
- 4) Study the roof color, considering its visibility from the neighbors.
- 5) Specify the variety of Ceanothus on the landscape plan.

Action: James/Pierce, 3/2/0. Motion carried. (Miller/Bernstein opposed, Woolery/Zimmerman absent).

PROJECT DESIGN REVIEW**4. 511 BROSIAN WAY****A-1/SD-3 Zone**

(4:40) Assessor's Parcel Number: 047-030-011
Application Number: MST2014-00149
Owner: John Park
Architect: Cearnal Andrulaitis, LLP

(Proposal to construct a 4,656 square foot one-story single-family residence, with an attached 533 square foot two-car garage, a 198 square foot one-car carport, and two uncovered parking spaces on a vacant 2.2 acre lot. The proposal includes an outdoor pool and spa, landscaping, and 600 cubic yards of cut grading and, 3,560 cubic yards of fill grading. The proposed total of 5,387 square feet of development in the Hillside Design District and both the appealable and non-appealable jurisdictions of the Coastal Zone is 95% of the guideline maximum floor-to-lot area ratio. The project received approval of a Coastal Development Permit from the Planning Commission.)

(Project Design Approval is requested. Project requires conformance with Planning Commission Resolution 027-14, and grading findings. Project was last reviewed on October 20, 2014.)

Actual time: 4:48 p.m.

Present: Brian Cearnal and Jeff Hornbuckle, Architects; and Jack Kiesel, Landscape Architect.

***** THE BOARD RECESSED AT 5:00 P.M. AND RECOVERED AT 5:11 P.M. *****

Public comment opened at 5:11 p.m.

- 1) Robert Forouzandeh, whose family owns 507 Brosian Way, spoke in support of the project.
- 2) Ronald Green reserved his time for Lori Rafferty.
- 3) Susan Green spoke in opposition to the project.
- 4) Lori Rafferty spoke in opposition to the project, expressing concern for the large amount of grading and negative visual impact to the neighborhood.

Letters from David and Kristy Young, Kitch Wilson, Rosa Choi and Richard Chung, Lori Rafferty, Laura Carlos Pomerantz, Nancy Marr and Jean-Michel Cousteau, Patricia Foley, Carl and Marilyn Kocher, Walter and Ingeborg Knapp, Susan Green, Bob Bowski, Patricia Marquart, Andrew and Penelope Gottlieb, Curry Sawyer, and Carolyn Vogt were acknowledged.

Public comment closed at 5:23 p.m.

Chair Sweeney read to the Board the November 6, 2014 Planning Commission draft comments.

Motion: Project Design Approval with the finding that the Neighborhood Preservation Ordinance criteria have been met as stated in Subsection 22.69.050 of the City of Santa Barbara Municipal Code and continued indefinitely to the Full Board with comments:

- 1) The Board finds the FAR appropriate for the neighborhood given that the project is on a 2.2 acre lot.
- 2) The NPO findings can be made as follows: the project provides consistency and appearance, it is in an eclectic neighborhood and there are other modern homes in the neighborhood; it is compatible in its size, bulk, and scale since there are many other homes above 4,000 square feet; the quality of architecture and materials is exemplary.

- 3) The Board made the grading findings that the proposed grading will not significantly increase siltation in or decrease the water quality of streams, drainages or water storage facilities to which the property drains; and the proposed grading will not cause a substantial loss of southern oak woodland habitat.

Action: Woolery/James, 5/0/1. Motion carried. (Bernstein abstained).

The ten-day appeal period was announced.

SFDB-CONCEPT REVIEW (CONT.)**1. 511 BROSIAN WAY****A-1/SD-3 Zone**

(3:15) Assessor's Parcel Number: 047-030-011
 Application Number: MST2014-00149
 Owner: John Park
 Architect: Cearnal Andrulaitis, LLP

(Proposal to construct a 5,888 square foot, single-story residence with lofted bedroom space, an attached three-car garage, and two-car uncovered parking on a vacant 2.2 acre lot. The proposal includes an outdoor pool and spa, landscaping, and 510 cubic yards of cut grading and, 3,870 cubic yards of fill grading. The proposed total of 5,888 square feet of development in the Hillside Design District and both the appealable and non-appealable jurisdictions of the Coastal Zone is 104% of the guideline maximum floor-to-lot area ratio. This project includes Planning Commission Review for a Coastal Development Permit.)

(Third Concept Review. Comments only; project requires Planning Commission review for a Coastal Development Permit. Project was last reviewed on June 16, 2014.)

Actual time: 3:10 p.m.

Present: Brian Cearnal and Jeff Hornbuckle, Architects; John Park, Owner; and Tony Boughman, Case Planner.

Public comment opened at 3:18 p.m.

- 1) Robert Forouzandeh, immediate neighbor to the south, spoke in support of the size, height, and style of the project as being appropriate for the neighborhood.
- 2) Dawn Woods, immediate neighbor to the northwest, spoke in support of the height, and the project.
- 3) David Young, immediate neighbor to the west, spoke in support of the project.
- 4) Tom Evans, immediate neighbor to the west, expressed support for the project and appreciated that the applicant responded to his concerns about the height, the setback, and the lighting issues.

A letter in support of the project from Rosa Choi and Richard Chung was acknowledged. Letters of expressed concerns from Lori Rafferty, The Foleys, and Bob Bowski were acknowledged.

Public comment closed at 3:34 p.m.

Motion: Continued indefinitely to Planning Commission for return to Full Board with comments:

- 1) In general, the Board finds the project to be compatible regarding size, bulk and scale as it relates to the site and the neighborhood.
- 2) Study "smart" glazing for the clerestory windows.
- 3) Study an undulating design for the fence along Brosian Way, giving consideration to landscaping in the foreground and background this area.
- 4) Study the roof color, considering its visibility from the neighbors.
- 5) Specify the variety of Ceanothus on the landscape plan.

Action: James/Pierce, 3/2/0. Motion carried. (Miller/Bernstein opposed, Woolery/Zimmerman absent).

JOB NUMBER	14011	
CONTENTS		
EXTERIOR ELEVATIONS		
DRAWN BY:	JH	
CHECKED BY:		
DATE:		
ISSUE DATE:	12.10.14	
REVISIONS		
NO.	DATE	DESCRIPTION

TYPICAL FINISHES & COLORS

- ROOF: (A) Built-Up Roofing
- EXT. WALL 1: (B) 7/8" 3-Coat Cement Plaster, Smooth /troweled finish, Painted
- EXT. WALL 2: (C) Fair Cement Horizontal Siding
- STONE VENEER: (D) Santa Barbara Sandstone, Ledgerstone Pattern
- ENTRY DOOR: (E) Wood Stained
- DOOR: (F) Anodized Aluminum Sliding Door
- DOOR: (G) Anodized Aluminum Sliding Door System
- GARAGE DOOR: (H) Aluminum w/ Glass Panels
- WINDOW: (I) Anodized Aluminum Window
- STEEL: (J) HSS Paint, Painted



1 East Elevation
Scale: 1/8" = 1'-0"



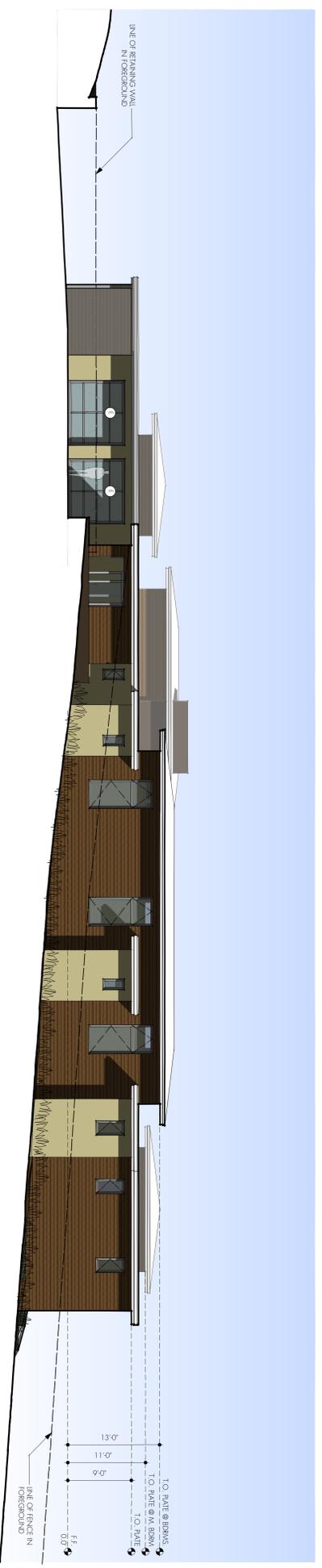
2 South Elevation
Scale: 1/8" = 1'-0"

NOTE: REFER TO 1/A-201 FOR TYPICAL FINISH & MATERIAL CALLOUTS



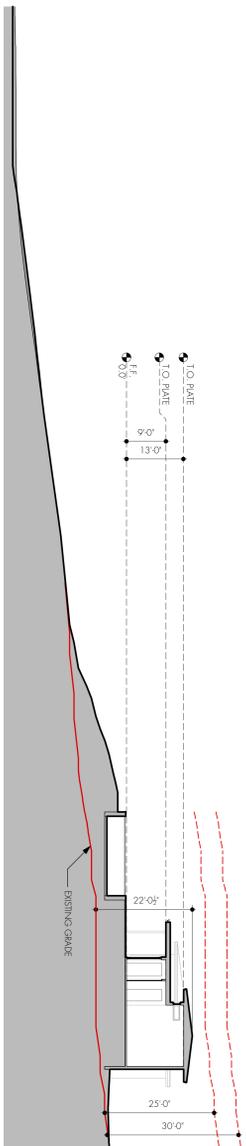
4 North Elevation
Scale: 1/8" = 1'-0"

NOTE: REFER TO 1/A-201 FOR TYPICAL FINISH & MATERIAL CALLOUTS

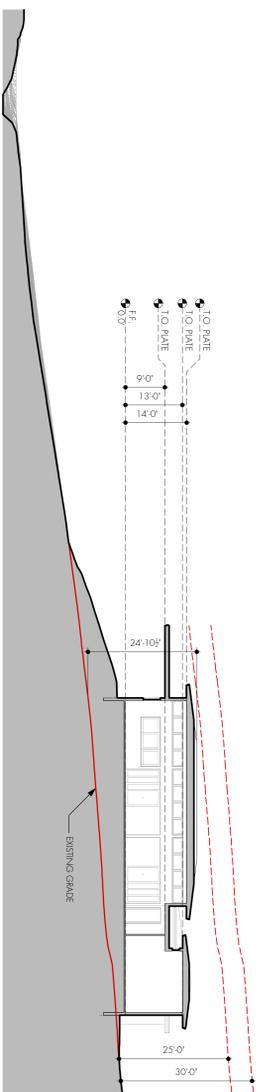


3 West Elevation
Scale: 1/8" = 1'-0"

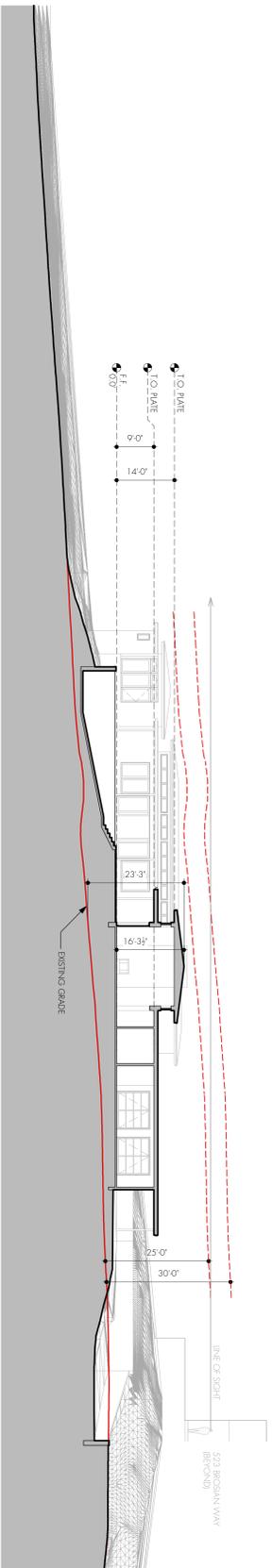
NOTE: REFER TO 1/A-201 FOR TYPICAL FINISH & MATERIAL CALLOUTS



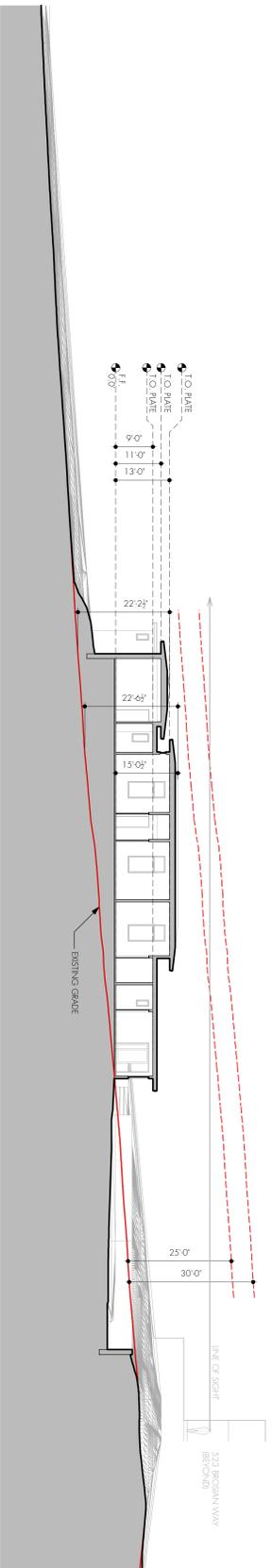
A Site Section A
Scale: 1/16" = 1'-0"



B Site Section B
Scale: 1/16" = 1'-0"



C Site Section C
Scale: 1/16" = 1'-0"



D Site Section D
Scale: 1/16" = 1'-0"

THIS DRAWING IS THE PROPERTY OF CEARNAL ANDRUAITIS ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CEARNAL ANDRUAITIS ARCHITECTURE.

NO.	DATE	BY	REVISIONS
1	09/21/14	JH	DATE
2	10/30/14	PC	REVISED
3	11/17/14	SRB	REVISED
4	12/10/14	SRB	REVISED

JOB NUMBER:	14011
CONTENTS:	SITE SECTIONS
DRAWN BY:	JH
CHECKED BY:	
DATE:	12/10/14
ISSUE DATE:	12/10/14
PROJECT NAME:	Park Residence
PROJECT ADDRESS:	511 Brosian Way, Santa Barbara, CA 93109
PROJECT PHONE:	805 963 8022
PROJECT FAX:	805 963 8027
PROJECT EMAIL:	www.cearnal.com
SHEET	OF
A-301	

Proposed project for:
Park Residence
 511 Brosian Way
 Santa Barbara, CA, 93109

JOB NUMBER: 14011

CONTENTS:
 PRESCRIPTIVES

DRAWN BY: JH

CHECKED BY:

CEARNAL ANDRUAITIS is an equal opportunity employer. We do not discriminate on the basis of race, sex, age, religion, national origin, marital status, or any other protected status. We are an affirmative action employer. We are an equal opportunity employer. We do not discriminate on the basis of race, sex, age, religion, national origin, marital status, or any other protected status. We are an affirmative action employer.

SUBMITTALS		
DATE	TYPE	
9.21.14	DMT	
0.30.14	PC	
11.17.14	SPB	
12.10.14	SPB Pol. Design	
ISSUE DATE:	12.10.14	
REVISIONS		
NO.	DATE	TYPE



(E) SITE LOOKING NORTH WEST



GRADED SITE & RESIDENCE LOOKING NORTH WEST



GRADED SITE & RESIDENCE W/ LANDSCAPE LOOKING NORTH WEST



CEARNAL ANDRULATIS ARCHITECTURE INTERIOR DESIGN
 521 1/2 SAGE STREET
 CAUTION A 93107
 P: 805.983.8972
 F: 805.983.8972
 WWW.CEARNAL.COM

studio engineers, inc.
 REGISTERED PROFESSIONAL ENGINEERS
 CONSULTING ENGINEERS
 1108 W. La Verne Street, Suite A
 CAUTION A 93107
 P: 805.992.2700
 F: 805.992.2700
 WWW.STUDIOENGINEERS.COM



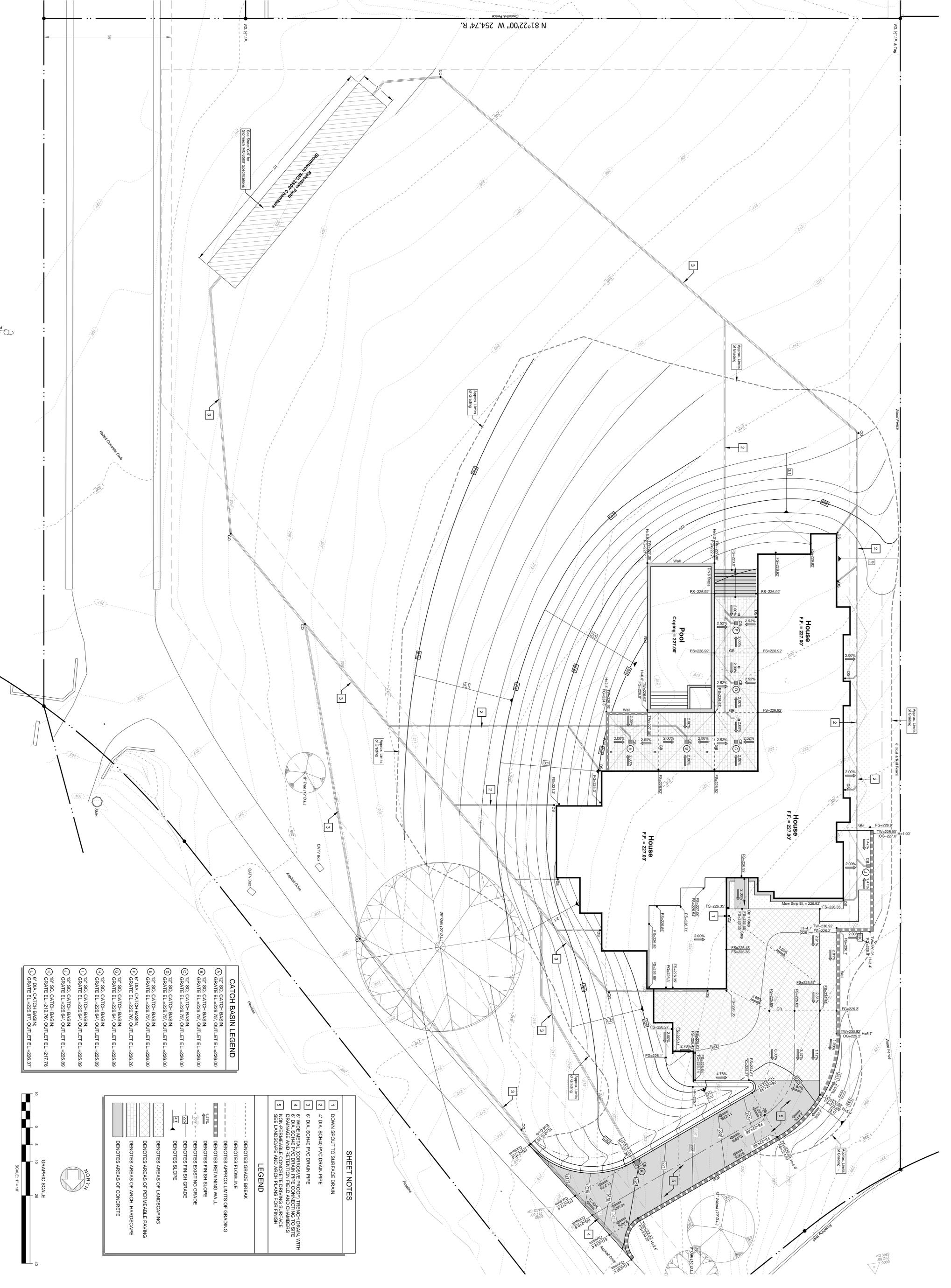
Proposed project for:
Park Residence
 511 Brosian Way
 Santa Barbara, CA 93109

JOB NUMBER: 14-011
 CONTENTS:
GRADING & DRAINAGE PLAN

DRAWN BY: JAT/CS
 CHECKED BY: JAT
 DESIGN: ANDRULATIS, ARCHITECTURE
 INTERIOR DESIGN
 STUDIO ENGINEERS, INC.
 511 BROSIAN WAY
 SANTA BARBARA, CA 93109
 SUBMITTALS
 DATE: THE
 4/7/14: SPOB Concept
 5/16/14: Schematic Floor Plan
 6/3/14: SPOB Pkg. Design
 9/2/14: DART
 ISSUE DATE: 12/15/14
 REVISIONS
 NO. DATE TYPE

NO.	DATE	TYPE

SHEET 4 OF 6
C-3



SHEET NOTES

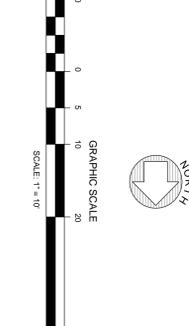
- DOWN SPOUT TO SURFACE DRAIN
- 4" DIA. SCHED PVC DRAIN PIPE
- 6" DIA. SCHED PVC DRAIN PIPE
- 6" WIDE METAL (CORROSION PROOF) TRENCH DRAIN, WITH 6" DIA. SCHED PVC DRAIN PIPE CONNECTING TO SITE NON-PERMEABLE CONCRETE DRIVING SURFACE. SEE LANDSCAPE AND ARCH PLANS FOR FINISH

LEGEND

- DENOTES GRADE BREAK
- DENOTES FLOWLINE
- - - DENOTES APPROX. LIMITS OF GRADING
- DENOTES RETAINING WALL
- 1.4% DENOTES FINISH SLOPE
- 2.0% DENOTES EXISTING GRADE
- 2.0% DENOTES FINISH GRADE
- 1/1 DENOTES SLOPE
- DENOTES AREAS OF LANDSCAPING
- DENOTES AREAS OF PERMEABLE PAVING
- DENOTES AREAS OF ARCH. HARDSCAPE
- DENOTES AREAS OF CONCRETE

CATCH BASIN LEGEND

- 12" SQ. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 12" SQ. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 12" SQ. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 12" SQ. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 12" SQ. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 6" DIA. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 6" DIA. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 6" DIA. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 6" DIA. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 6" DIA. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'
- 6" DIA. CATCH BASIN. GRATE EL. = 226.775'; OUTLET EL. = 226.00'



N 81°22'00" W 254.74' R
 PD 3/7/16

Fuel Management Planting Zone Guidelines

From City of Santa Barbara's High Fire Hazard Area Landscape Guidelines & Minimum Brush Clearance Standards (TEL: Ann Mann 566-5220)

Description of High Fire Coastal Zones :

- **Fire Zone 1:** 0-30' from Residence - **Zone 1** - Vegetation in this zone is composed of groundcovers not more than 12" in height or succulents. Specimen trees are limited in number and the mature size of the tree will not be within 15' of the structure. All plants will be irrigated and maintained.
- **Fire Zone 2:** 30'-50' from Residence - Vegetation in this zone is composed of groundcovers not more than 12" in height or succulents. Planted shrubs must be maintained less than 3 feet in height in clusters no more than 10 feet in diameter. Spacing between clusters should be at least 18 feet. Specimen trees should be spaced 50 feet apart. No shrubs will be planted under trees.
- **Fire Zone 3:** 50'-70' from Residence - Shrubs should be less than 6 feet in height, planted in clusters less than 10 feet in diameter and spaced 18 feet clear between clusters. Tree canopies should not touch once fully mature.

Fuel Maintenance Guidelines Within 100 Feet Of All Buildings:

- Mulch and remove all dead wood and litter in areas with existing tree and shrub cover.
- Remove existing eucaalyptus trees as necessary to provide space between canopies.
- Mulch, removing 20% to 50% of highly combustible native species such as *Artemisia californica* and *Baccharis pilularis*.
- Remove and mulch material shall be chipped or cut into small pieces and spread throughout the property as a mulch, up to 12" in depth, and at least 30 feet from any structure.
- No native on site Oak trees or other standing ornamental trees will be removed unless otherwise indicated on plan.
- Vegetation will be maintained to avoid buildup of dead material and trees shall be limited up to one third of height, not to exceed 13'6".
- Vegetation will be moved annually a horizontal distance of 10' along the shoulder of driveway and existing trees.

Landscape General Notes

1. This project falls under the City's "Tier 3" category. In the determinative BMP (Best Management Practice) The project shall provide the basic BMP options of driveway and front design including new and existing landscape drainage, to the landscape areas for temporary storage, detention and infiltration. Overflow to existing drainage system off site.
2. All existing slopes shall be planted with drought tolerant, low growing, fire resistant groundcover.
3. Irrigation will be compliant with the City of Santa Barbara's irrigation efficiency standards. Less than 2% of the area shall be irrigated. Irrigation system supplemented with rainwater from potential cistern hydrozones based on plant water needs and sun/shade exposure.
4. Landscape lighting to be LED low voltage. Fixtures to be located along the entry areas, pathways and patio areas to insure safe passage. Lighting shall comply with the City of Santa Barbara's outdoor lighting ordinance.

Notes

1. Native evergreen screen rows
2. 3" wide gravel path to Brosian Way with steel edging
3. Herb garden area, irrigation system supplemented with rainwater from potential cistern
4. Native grassland/coastal sage scrub massings
5. Enhanced concrete driveway with permeable gravel filled joints
6. Enriched revegetated native drainage area, plant selection in coordination with Santa Barbara Creeks Division
7. Existing 8" dia. oak to remain
8. Semi-permeable gravel path with steel edging
9. Semi-permeable gravel path with steel edging
10. Private segmented concrete patio with gravel filled joints. VP
11. Private segmented concrete patio with gravel filled joints. VP
12. Approximate location of stormwater retention field, see civil drawings
13. 5' H horizontal wood slat perimeter panel fence to run entire length of property, with self latching gates
14. Fire pit and outdoor furniture
15. Cut stone pavers in running bond pattern, 1/2" (alternate: porcelain tile or integral colored concrete grid pattern with 1" wide beaded cobble filled joints)
16. 8" & cross lines
17. Vegetated drainage swale
18. existing 12" dia. dead walnut to be removed
19. existing 16" dia. pine to be removed
20. 4" wide access gate
21. Native *Leymus* grassland massing
22. Existing oak to remain and be protected

Landscape Design for Water Conservation Compliance Statement

Mandatory Measures:
(Lower calculations of required area or percentage below)

No turf in >20% slope

For residential, mulch and institutional projects: 90% or > of landscape area water wise plants

For commercial, 100% of landscape area water wise plants

For residential, ~20% of area in turf of high-water using plants

Three inches of mulch specified as required

Areas of sprinkler coverage avoid overlap and runoff, including optimum distribution uniformly, head-to-head spacing and setbacks from walkways and pavement

Sprinklers have mulched precipitation rates within each valve and street

Valves separated for individual hydrozones based on plant water needs and sun/shade requirements

Weather based irrigation controller with a rain shutoff sensor for the entire irrigation system if including an automatic irrigation system

Areas less than 8" wide irrigated only with bubblers, rotating nozzles or pop-up heads, sub-irrigation, or drip irrigation

Dryflow volume irrigation system on >25% of landscaped area

Check valves at low end of irrigation lines to prevent unwanted draining of irrigation lines

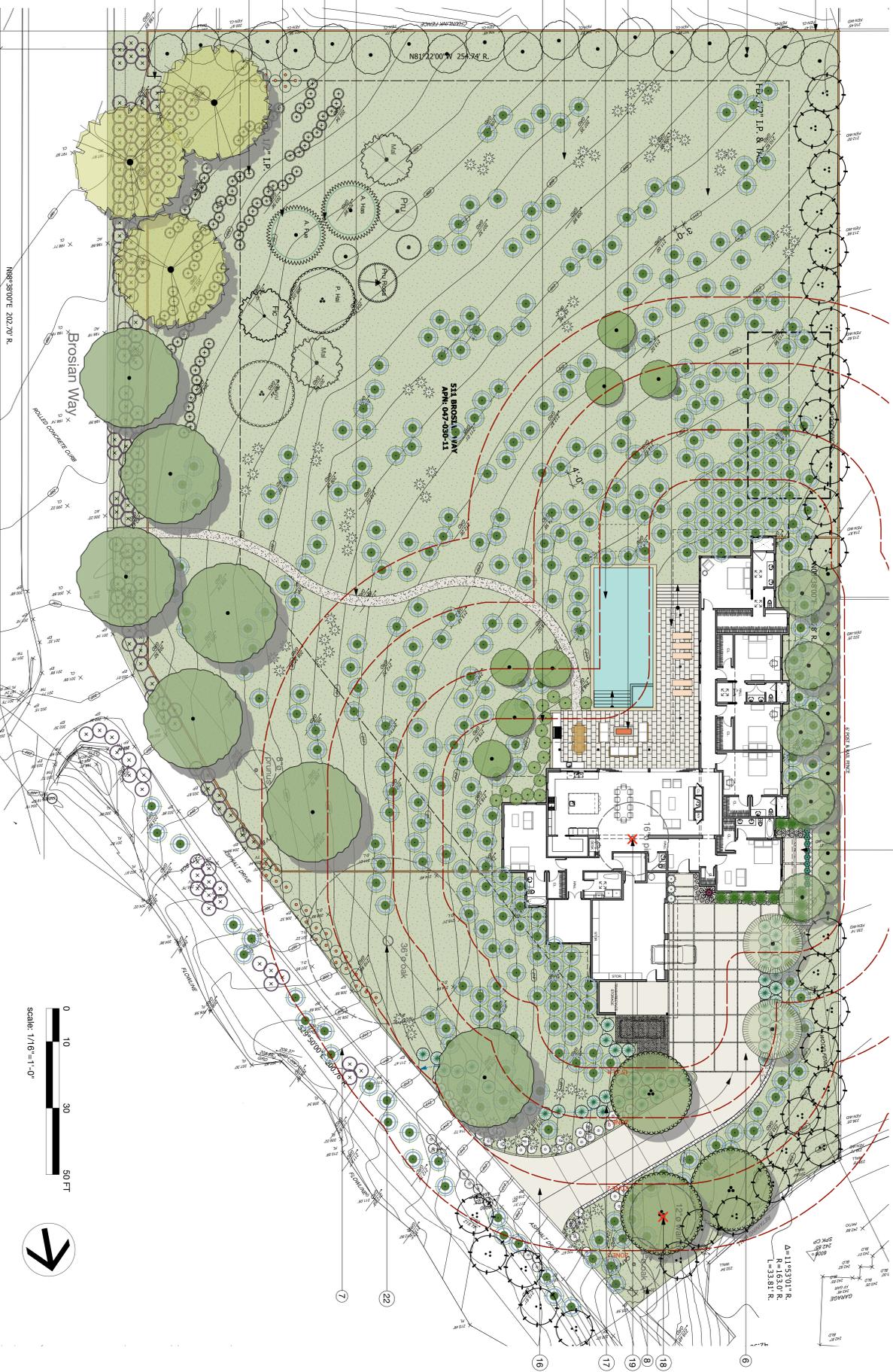
Pressure regulators, unless the Public Works Director determination one is not necessary

Grading encourages water retention and infiltration by preserving open space and creating depressed areas/swales

Grading mimics natural pre-development hydrologic flow paths and maintains and/or increases the width of flow paths in order to decrease flow rates

I state that I am familiar with the Landscape Design Standards for Water Conservation as most recently adopted by the Santa Barbara City Council and that the landscape design for this project complies with those standards. It is my understanding that verification of compliance will be necessary upon final building inspection. I shall provide a copy of this statement and I will assume in writing that the installation substantially conforms to the approved plans.

Signature	Name
_____	_____



KIESEL + DESIGN
Landscape Architecture
2168 Sanderling Street
Ventura, CA 93003
(805) 642-2708
jack@kieseldesign.com
CL# 5206

Park Residence
511 Brosian Way
Santa Barbara, CA 93109

Revisions:
NAME
DATE



Type: Preliminary
Submital Date: December 11, 2014

Drawn By: # NAME DATE
1 J. Kiesel 8/14

SFDB Submittal Landscape Plan

Sheet Number:

LO.1

Plant List

Symbol	Botanical Name	Common Name	Container Size	Qty	Mature Height	Size Width
●	<i>Acacia seneciifolia</i>	Shoestring Acacia	24" box	2	5	12 - 20 ft
●	<i>Arbutus x Marmorata</i>	Marina Strawberry Tree	24" box	3	15 - 35 ft	20 - 35 ft
●	<i>Arctostaphylos</i>	Fuente Avocado	15 gal	1	35'	30 ft
●	<i>Arctostaphylos</i>	Lamb Hass Avocado	15 gal	1	20'	20 ft
●	<i>Citrus Dwarf Lisbon</i>	Dwarf Lisbon Lemon	15 gal	1	5 - 10 ft	7 - 12 ft
●	<i>Citrus Dwarf Washington Navel</i>	Dwarf Navel Orange	15 gal	1	5 - 10 ft	4 - 7 ft
●	<i>Citrus Innon Eureka</i>	Eureka Lemon	15 gal	7	15 - 35 ft	12 - 20 ft
●	<i>Diospyros Oak Fuyu</i>	Fuyu Persimmon	15 gal	1	15 - 35 ft	20 - 35 ft
●	<i>Diospyros Oak Hedges</i>	Hedges Persimmon	15 gal	1	15 - 35 ft	20 - 35 ft
●	<i>Ficus carica Mission</i>	Mission Fig	15 gal	1	15 - 35 ft	20 - 30 ft
●	<i>Malus Dorsett Golden</i>	Dorsett Golden Apple	15 gal	2	15 - 35 ft	20 - 30 ft
●	<i>Metrosideros excelsa</i>	New Zealand Christmas Tree	24" box	5	20 - 30 ft	12 - 30 ft
●	<i>Palauca racemosa</i>	California Sycamore	15 gal	3	80 - 100 ft	> 35 ft
●	<i>Pinus Santa Rosa</i>	Santa Rosa Plum	15 gal	1	12 - 15 ft	15 - 20 ft
●	<i>Pinus salicina Beauty</i>	Beauty Japanese Plum	15 gal	1	12 - 15 ft	10 - 15 ft
●	<i>Quercus agrifolia</i>	Coast Live Oak	15 gal	13	15	> 35 ft
●	<i>Quercus laevis Edmunds</i>	California Lilac	1 gal	366	<1'	6 - 8 ft
●	<i>Hebe x arbutifolia</i>	Toyon	5 gal	29	8 - 15'	15'
●	<i>Mimulus aurantiacus</i>	Bush Monkeyflower	1 gal	27	2'	3 - 4'
●	<i>Pinus nelsoniana</i>	Catalina Cherry	5 gal	19	15 - 25'	10 - 15'
●	<i>Rhamnus alaternus</i>	Italian Buckthorn	5 gal	18	12 - 16 ft	6 - 8 ft
●	<i>Rosa rugosa</i>	Gold Dust Rosemary	1 gal	15	3 - 4 ft	3 - 4 ft
●	<i>Verbaena lilacina De La Mina</i>	Cedros Island Verberna	1 gal	156	3 - 4 ft	4 - 8 ft
●	<i>Chorizanthe leucostachya</i>	Small Cape Rush	1 gal	12	3 ft.	3 to 4 ft.
●	<i>Juncea galena Elk's Blue</i>	Elk's Blue Rush	1 gal	9	12 - 24 in	12 - 24 in
●	<i>Lesqueria magnifica Moss Landing</i>	Beard Aster	1 gal	47	1 ft	3 ft
●	<i>Phloxium Daisy Chief</i>	Daisy Chief Flax	5 gal	1	3 - 4'	3 - 4'
●	<i>Succulents</i>					
●	<i>Hesperoyucca whipplei</i>	Our Lord's Candle	1 gal	70	3'	3'
●	<i>Echeveria Atropurva</i>	Echeveria	1 gal	38	1 - 2 ft.	1 - 2 ft.
●	<i>Agave Blue Flame</i>	Blue Flame Agave	1 gal	3	2 - 3 ft.	2 - 3 ft.
●	<i>Graasses</i>					
●	<i>Leymus c. Canyon Prince</i>	Canyon Prince Wild Rye	1 gal	85	4 - 8'	5'
●	<i>Muhlenbergia rigens</i>	Deer Grass	1 gal	49	3 - 5 ft	36 in - 4 ft
●	<i>Native Plant Seed Mixes</i>					
●	<i>SSS Seeds Native Hillflower Mix</i>		Seed	NA	<3'	<3'
●	<i>SSS Seeds Native Coastal Santa Barbara Cover NA</i>		Seed	NA	<5'	<6'
●	Total					1018

Planting Notes

Important note: All plant materials shall be set out as shown on plan. Final locations shall be approved by the Landscape Architect or Owner prior to planting.

1. All existing and proposed fences, hedges and walls within 10' feet of front property/line and 10' on either side of driveway, within 20' of front property line will be maintained below 3.9' in height.
2. All plantings beds are water-wise or drought tolerant unless otherwise indicated with an H2O symbol. As required by the City of Santa Barbara, 50% or more of the total landscape areas illustrated are water-wise.
3. Prior to starting work, Contractor shall take representative soil samples from the project site. Soil shall be analyzed by an approved commercial soil testing laboratory. (Fruit Growers Laboratories, PO Box 2727856 Corporation Street, Santa Paula, CA, 93061, 805.659.0910, or equal, for suitability for ornamental planting. A copy of the results of this analysis shall be submitted to the Owner and Landscape Architect. Contractor shall follow the recommendations of the soils lab as to the rate and analysis of fertilizer & amendments to provide a suitable medium for planting. The Contractor shall notify the Landscape Architect and Owner of any potential problems which may result due to soil subsidence and the soil failure to act as specified may result in the Contractor assuming financial responsibility for any damage to plants.
4. Contractor shall clear and grub all planting areas, removing all weed growth and construction debris, prior to installation of plant materials.
5. All plants are identified by typical symbols and quantities in each area. Plant quantities indicated on the plan are approximate and are provided for the convenience of the contractor. It shall be the responsibility of the contractor to verify quantities prior to bidding. In the event of discrepancies in plant count, quantities indicated by plant symbols shall prevail.
6. As noted above, all plant materials shall be set out as shown on plan. Final locations shall be approved by the Landscape Architect or Owner prior to planting. Landscape Architect or Owner shall be given 48 hours prior notice for approving plant locations.
7. Contractor shall provide and install 2" or 3" of mulch in all planted areas unless otherwise noted. Mulch to be Ground Cedar Bark, 1/2 inch - 1 inch as supplied by All-around Irrigation, (805) 894-3115. Mulch shall be spread evenly. Contractor to provide landscape architect and Owner with samples of mulch for approval prior to installation.

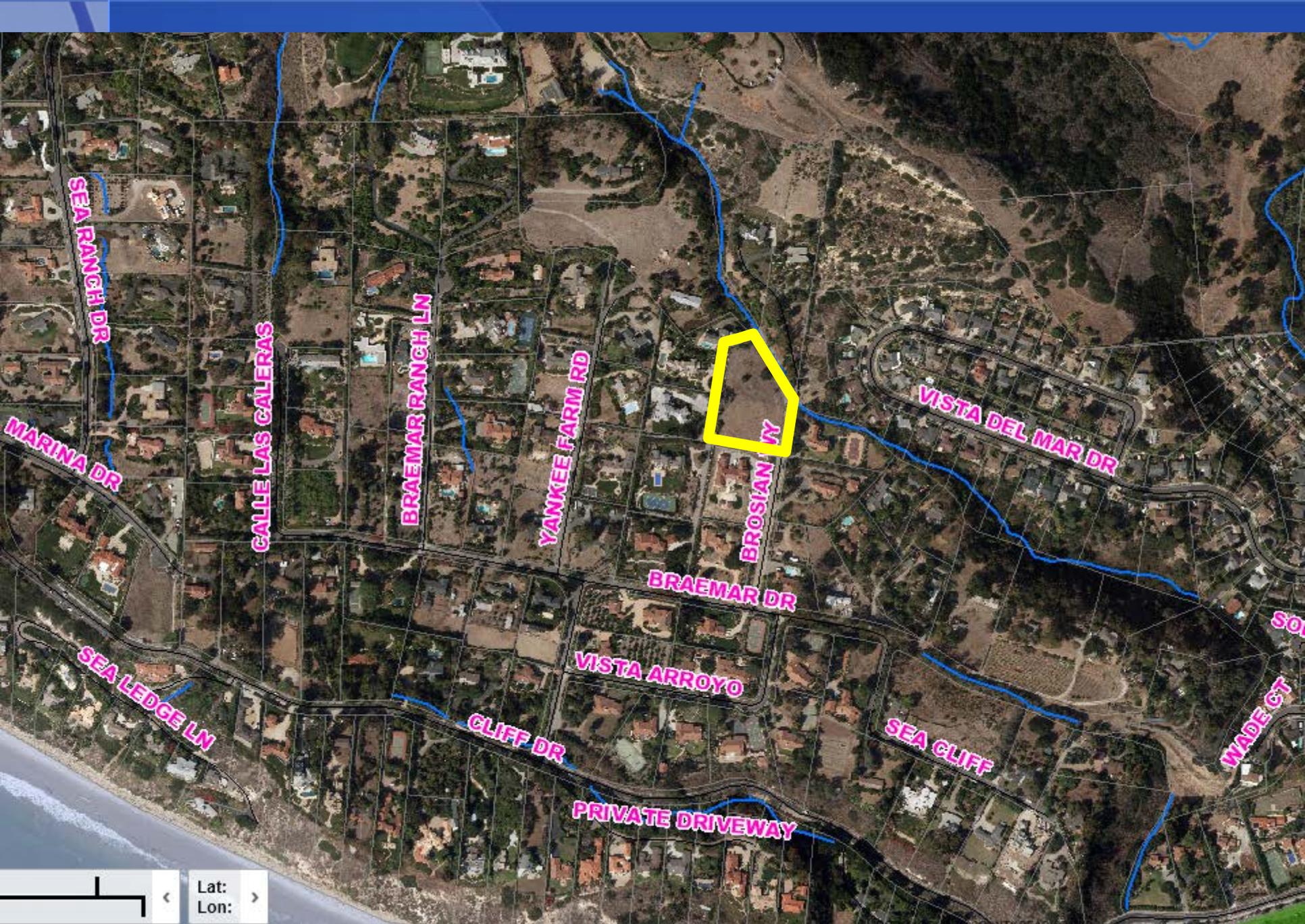
Tree & Shrub Protection Notes

- to be removed
 - approximate drip line of existing trees and shrubs to remain and be protected
- note: all existing plantings to remain and be protected are indicated by a circle with a dot. All plants to be removed are indicated by a circle with a cross.



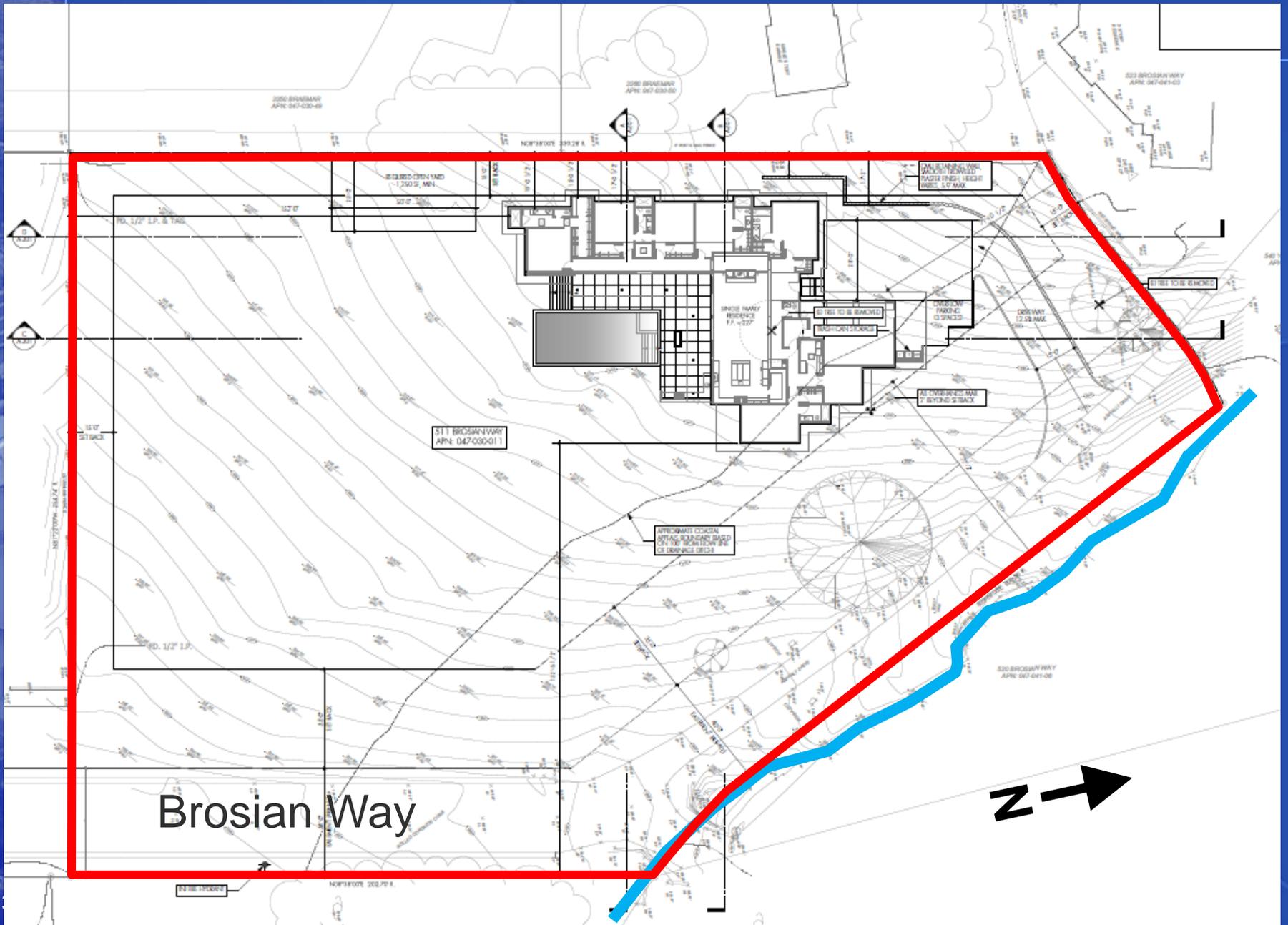
**511 Brosian Way
Appeal of
Planning Commission and
Single Family Design Board
Approvals
January 27, 2015**

STATE STRE.



Lat: < >
Lon: < >

Site Plan



East Elevation



West Elevation



North Elevation



South Elevation



SFDB and Planning Commission Review

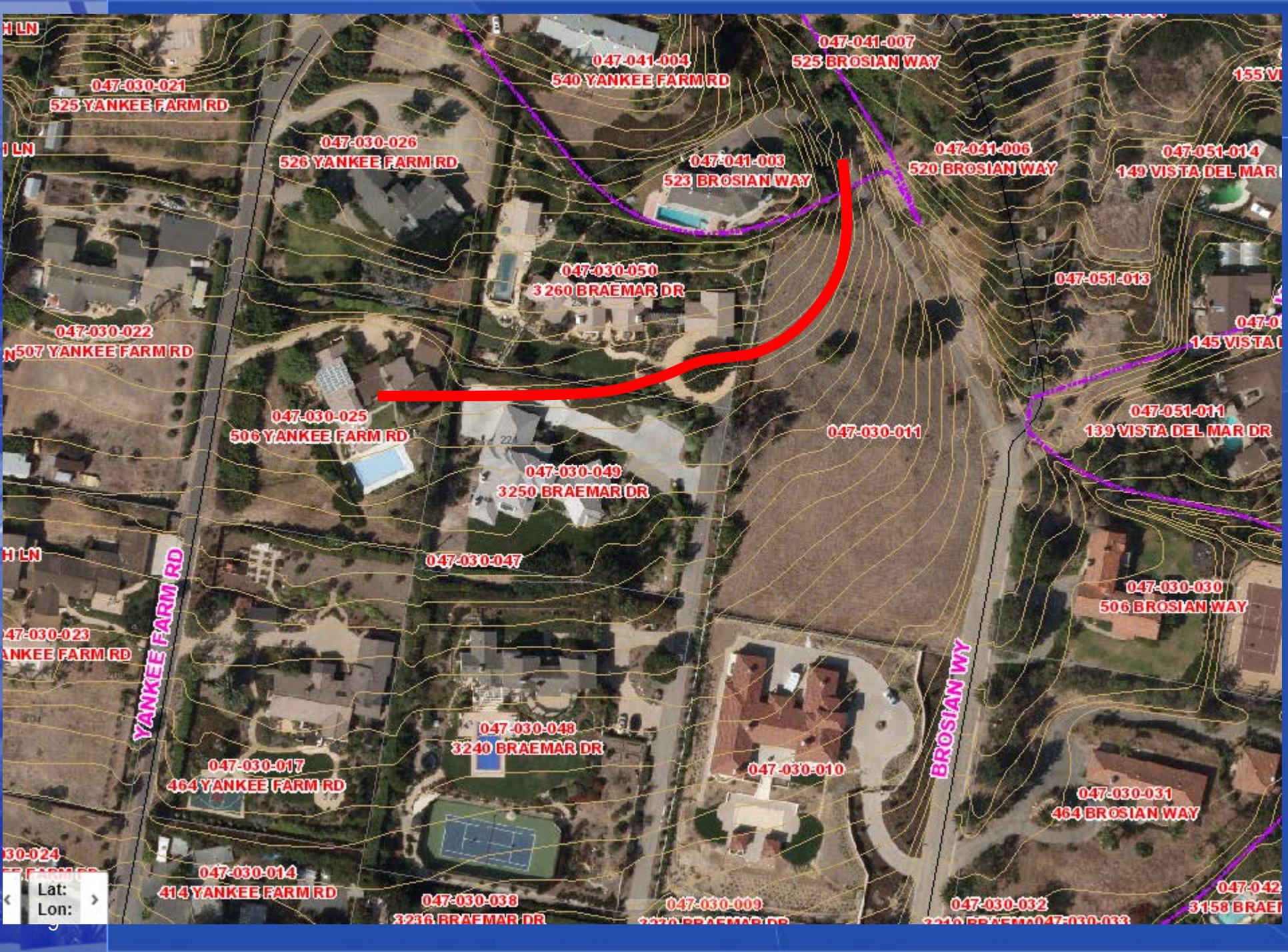
- ◆ SFDB - First Concept Review – April 7, 2014 General support for style, materials, compatibility of architecture
- ◆ SFDB - Second Concept Review – June 16, 2014 Requested story poles
- ◆ SFDB - Third Concept Review – October 20, 2014 Viewed story poles, general support for size, bulk, and scale, study details
- ◆ Planning Commission Review – November 6, 2014 CDP approved with minor design comments - Decision appealed
- ◆ SFDB - Project Design Review – December 15, 2014 Project size reduced, approved as submitted - Decision appealed

Coastal Development Permit Findings

- ◆ Local Coastal Plan Consistency –
 - Compatibility
 - Creek Environment
- ◆ Consistent with California Coastal Act
 - No adverse effects to coastal resources

SFDB Project Design Approval

- ◆ Neighborhood Preservation Ordinance Findings
 - Consistency and Appearance; Compatibility; Quality Architecture and Materials; Trees; Health Safety and Welfare; Good Neighbor Guidelines; Public Views
- ◆ Grading Findings
 - Not significantly increase siltation or decrease water quality;
 - Not cause loss of Oak woodland habitat
- ◆ Hillside Design District and Sloped Lot Findings
 - Natural Topography Protection
 - Building Scale



047-030-021
525 YANKEE FARM RD

047-041-004
540 YANKEE FARM RD

047-041-007
525 BROSIAN WAY

155 VISTA DEL MAR

047-030-026
526 YANKEE FARM RD

047-041-003
523 BROSIAN WAY

047-041-006
520 BROSIAN WAY

047-051-014
149 VISTA DEL MAR

047-030-050
3260 BRAEMAR DR

047-051-013

047-051-011
145 VISTA DEL MAR

047-030-022
507 YANKEE FARM RD

047-030-025
506 YANKEE FARM RD

047-030-049
3250 BRAEMAR DR

047-030-011

047-051-011
139 VISTA DEL MAR DR

047-030-047

047-030-030
506 BROSIAN WAY

047-030-023
505 YANKEE FARM RD

047-030-048
3240 BRAEMAR DR

047-030-010

047-030-017
464 YANKEE FARM RD

047-030-031
464 BROSIAN WAY

047-030-014
414 YANKEE FARM RD

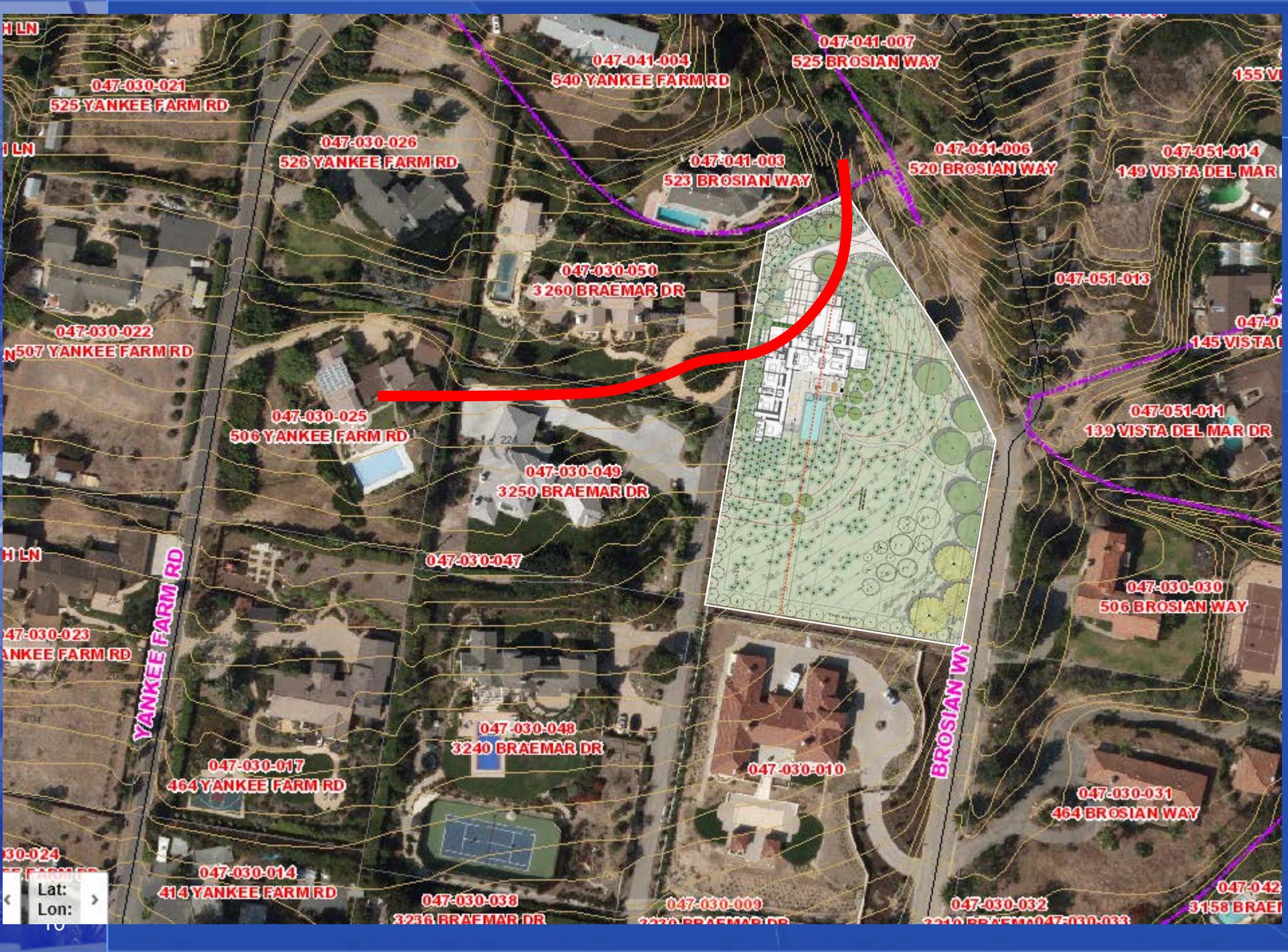
047-030-038
3236 BRAEMAR DR

047-030-009
3230 BRAEMAR DR

047-030-032

047-042-001
3158 BRAEMAR DR

Lat: >
Lon: >



047-030-021
525 YANKEE FARM RD

047-041-004
540 YANKEE FARM RD

047-041-007
525 BROSIAN WAY

155 VISTA DEL MAR

047-030-026
526 YANKEE FARM RD

047-041-003
523 BROSIAN WAY

047-041-006
520 BROSIAN WAY

047-051-014
149 VISTA DEL MAR

047-030-022
507 YANKEE FARM RD

047-030-050
3260 BRAEMAR DR

047-051-013

047-051-011
145 VISTA DEL MAR

047-030-025
506 YANKEE FARM RD

047-030-049
3250 BRAEMAR DR

047-051-011
139 VISTA DEL MAR DR

047-030-047

047-030-030
506 BROSIAN WAY

YANKEE FARM RD

BROSIAN WAY

047-030-023
505 YANKEE FARM RD

047-030-048
3240 BRAEMAR DR

047-030-010

047-030-017
464 YANKEE FARM RD

047-030-031
464 BROSIAN WAY

047-030-024

047-030-014
414 YANKEE FARM RD

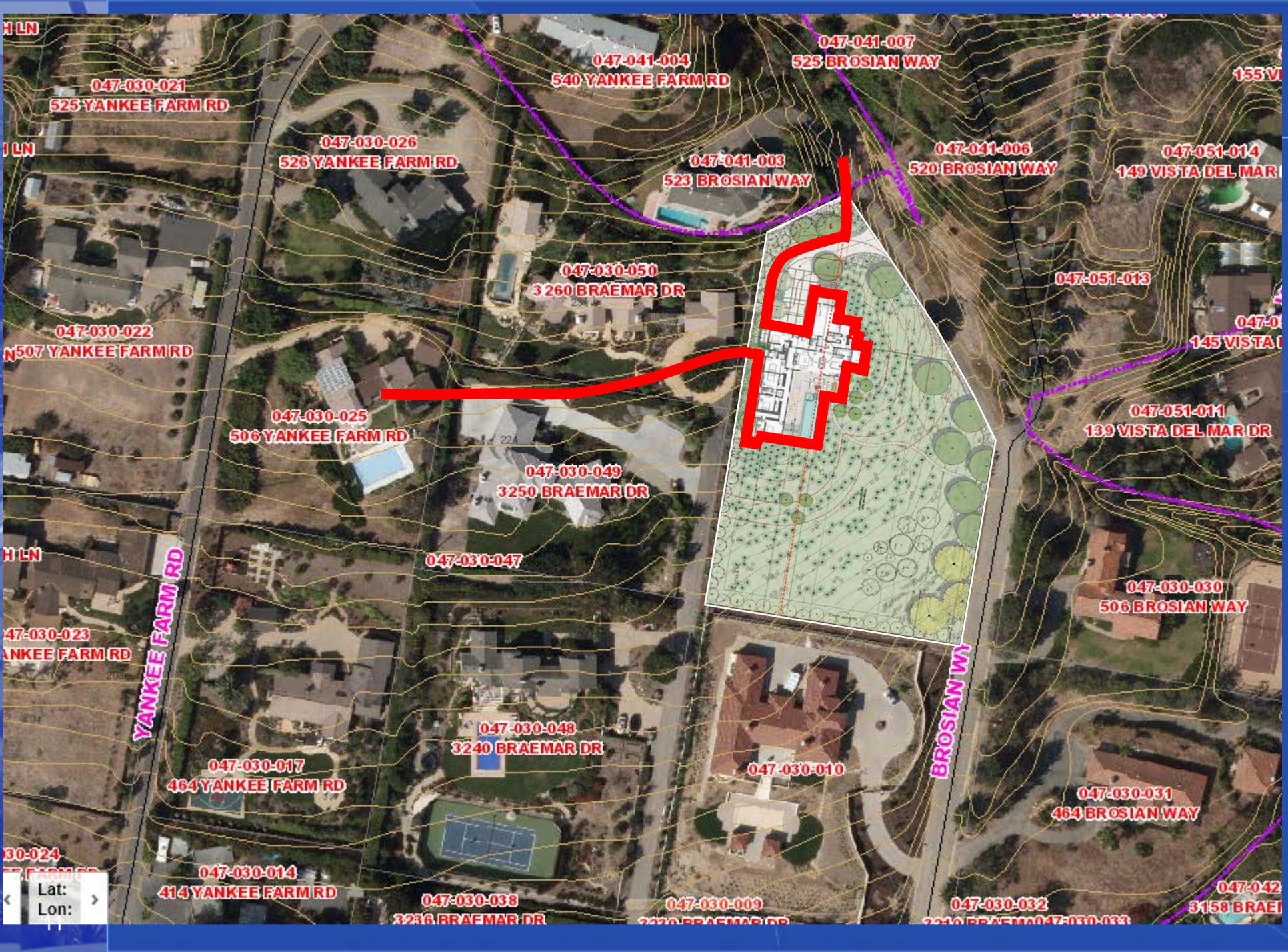
047-030-038
3236 BRAEMAR DR

047-030-009
3230 BRAEMAR DR

047-030-032

047-042-001
3158 BRAEMAR DR

Lat: >
Lon: >



047-030-021
525 YANKEE FARM RD

047-041-004
540 YANKEE FARM RD

047-041-007
525 BROSIAN WAY

047-030-026
526 YANKEE FARM RD

047-041-003
523 BROSIAN WAY

047-041-006
520 BROSIAN WAY

047-051-014
149 VISTA DEL MAR

047-030-050
3260 BRAEMAR DR

047-051-013

047-030-022
507 YANKEE FARM RD

047-030-025
506 YANKEE FARM RD

047-030-049
3250 BRAEMAR DR

047-051-011
139 VISTA DEL MAR DR

047-030-047

047-030-030
506 BROSIAN WAY

YANKEE FARM RD

047-030-048
3240 BRAEMAR DR

047-030-010

BROSIAN WAY

047-030-017
464 YANKEE FARM RD

047-030-031
464 BROSIAN WAY

047-030-014
414 YANKEE FARM RD

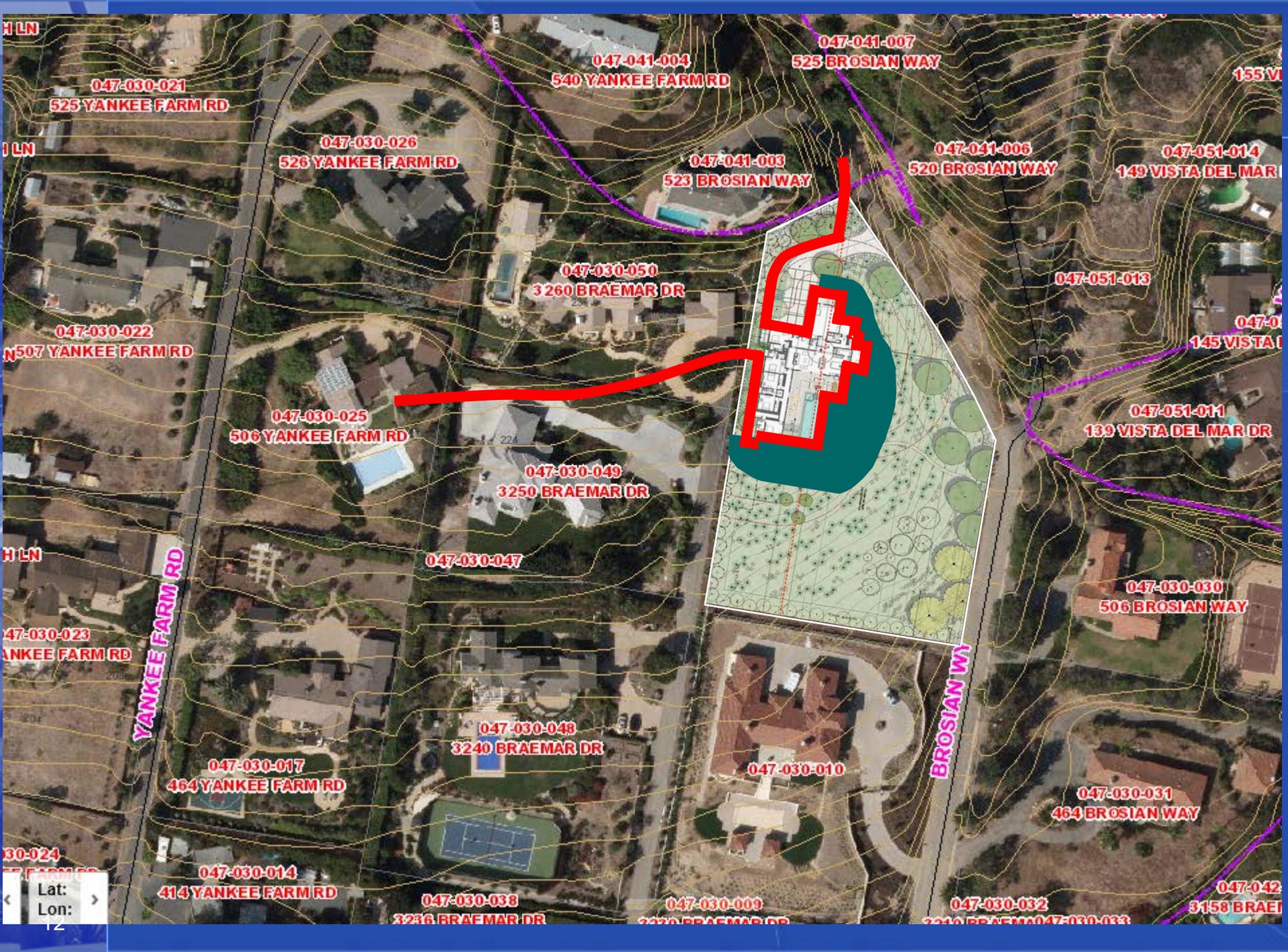
047-030-038
3236 BRAEMAR DR

047-030-009
3230 BRAEMAR DR

047-030-032

047-042
3158 BRAEMAR DR

Lat: >
Lon: >



047-030-021
525 YANKEE FARM RD

047-041-004
540 YANKEE FARM RD

047-041-007
525 BROSIAN WAY

155 V

047-030-026
526 YANKEE FARM RD

047-041-003
523 BROSIAN WAY

047-041-006
520 BROSIAN WAY

047-051-014
149 VISTA DEL MAR

047-030-050
3260 BRAEMAR DR

047-051-013

047-030-022
507 YANKEE FARM RD

047-051-011
145 VISTA DEL MAR

047-030-025
506 YANKEE FARM RD

047-030-049
3250 BRAEMAR DR

047-051-011
139 VISTA DEL MAR DR

047-030-047

047-030-030
506 BROSIAN WAY

YANKEE FARM RD

BROSIAN WAY

047-030-023
507 YANKEE FARM RD

047-030-048
3240 BRAEMAR DR

047-030-010

047-030-017
464 YANKEE FARM RD

047-030-031
464 BROSIAN WAY

047-030-024

047-030-014
414 YANKEE FARM RD

047-030-038
3236 BRAEMAR DR

047-030-009
3230 BRAEMAR DR

047-030-032

047-042-001
3158 BRAEMAR DR

Lat: >
Lon: >

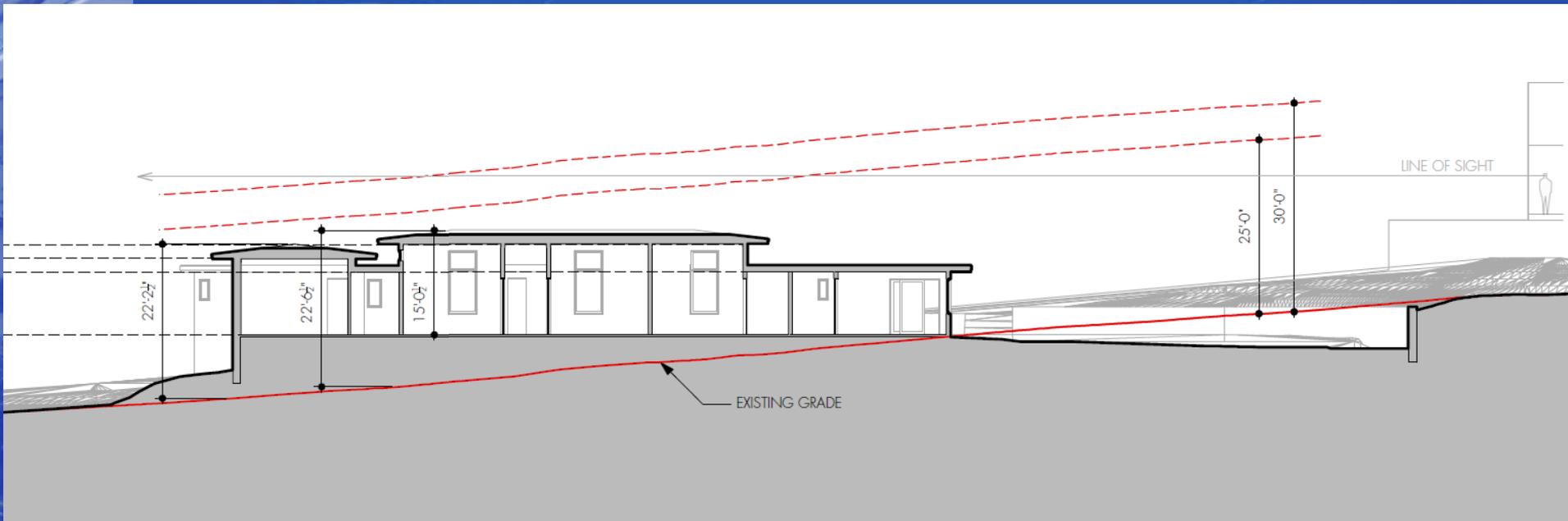
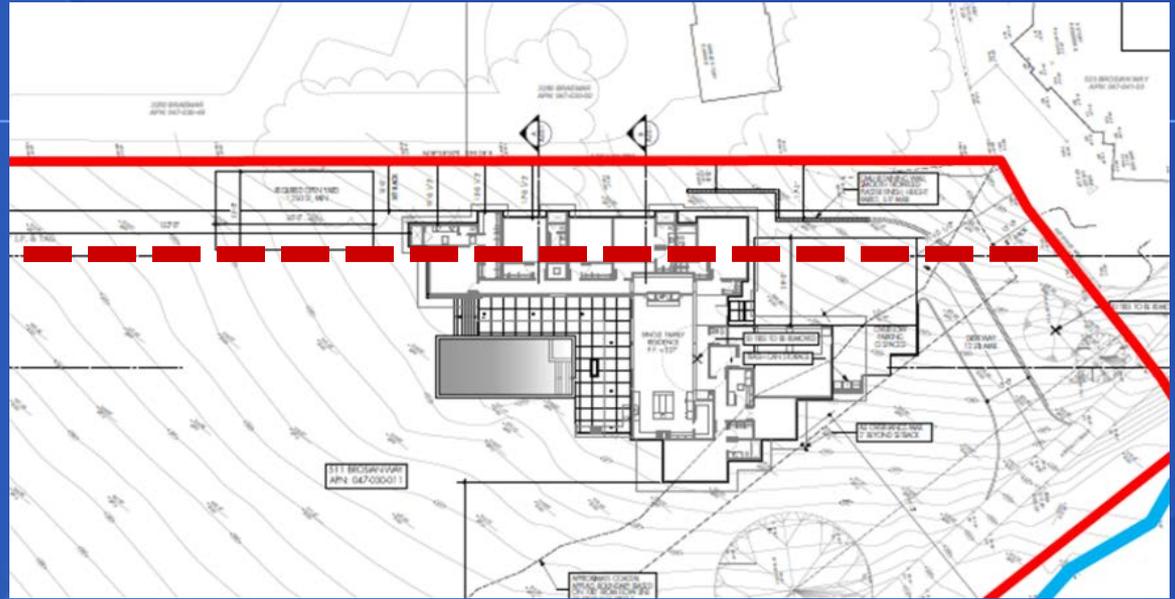
Existing Site



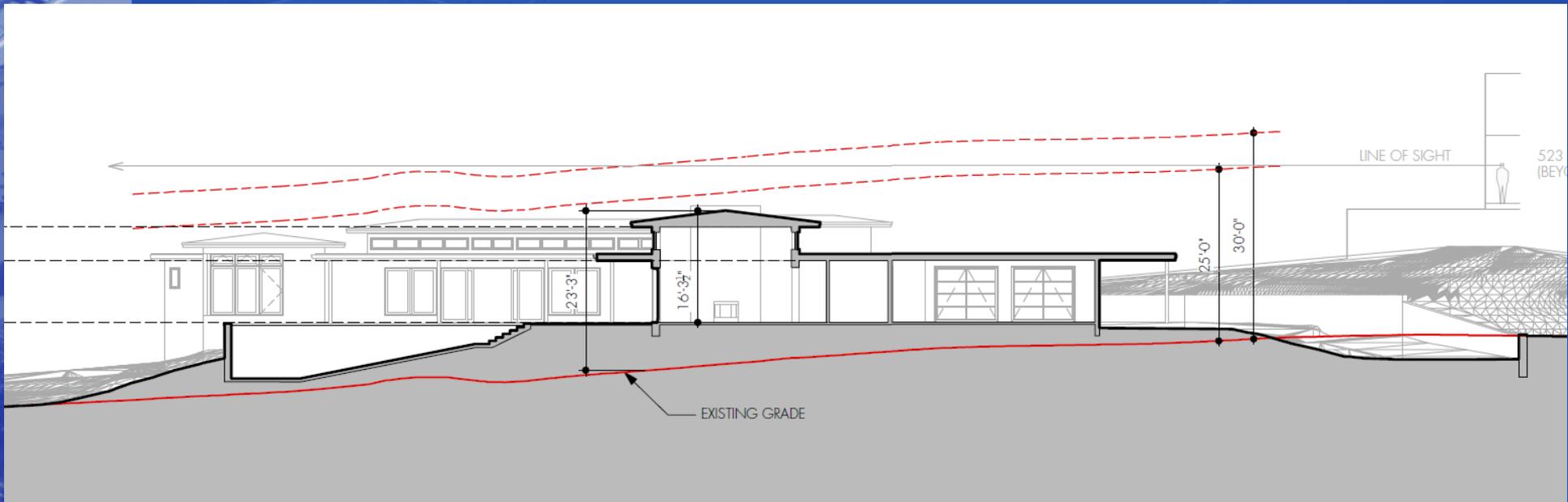
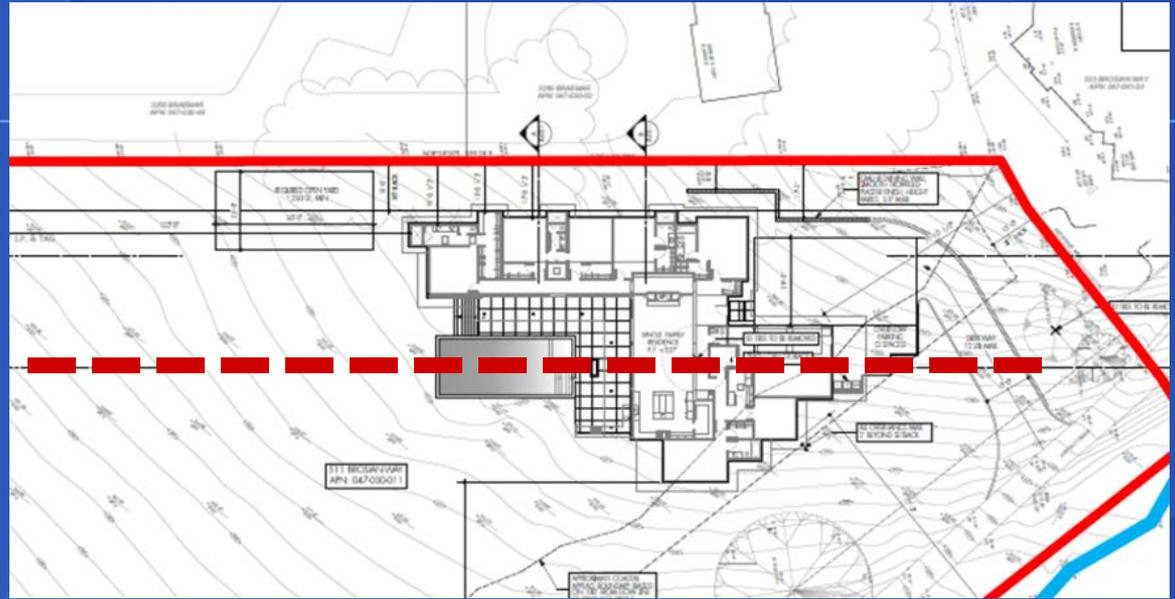
3-D Rendering



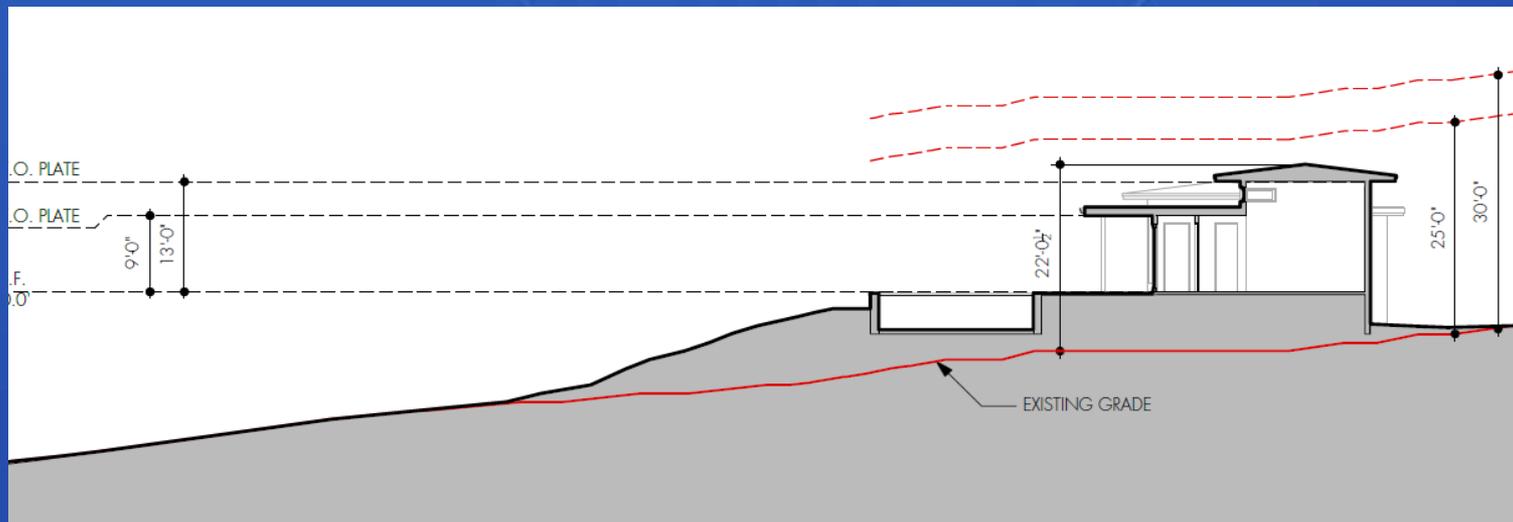
North-South Section D



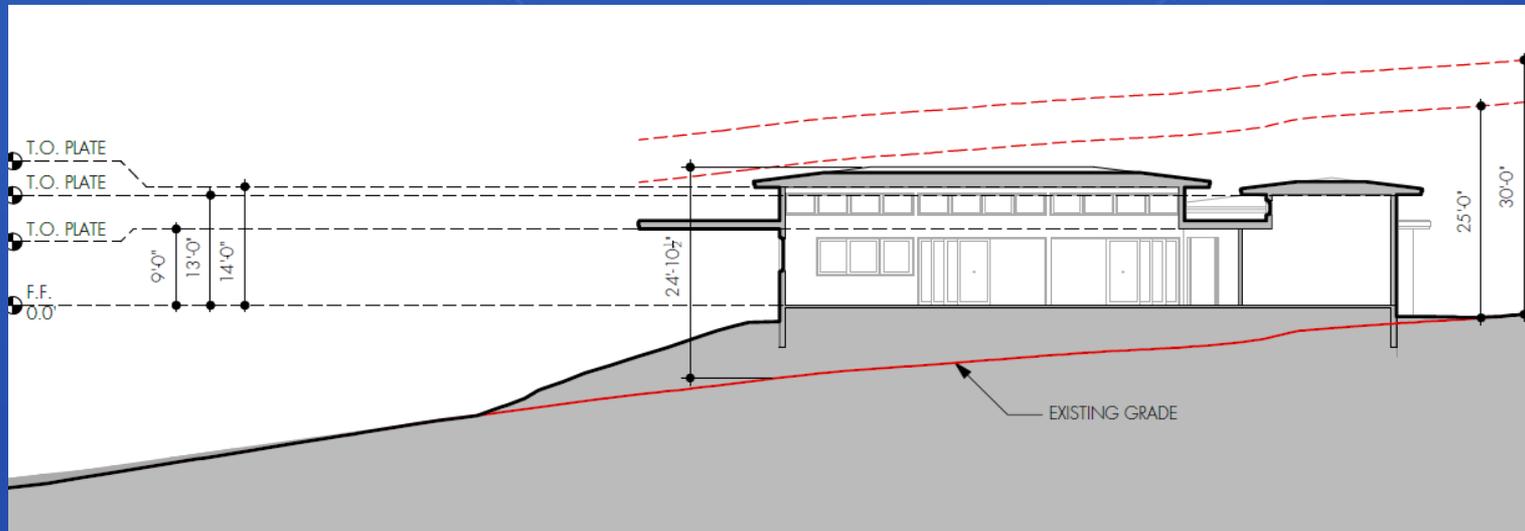
North-South Section C



East-West Section A



East-West Section B



3-D Rendering with Landscaping

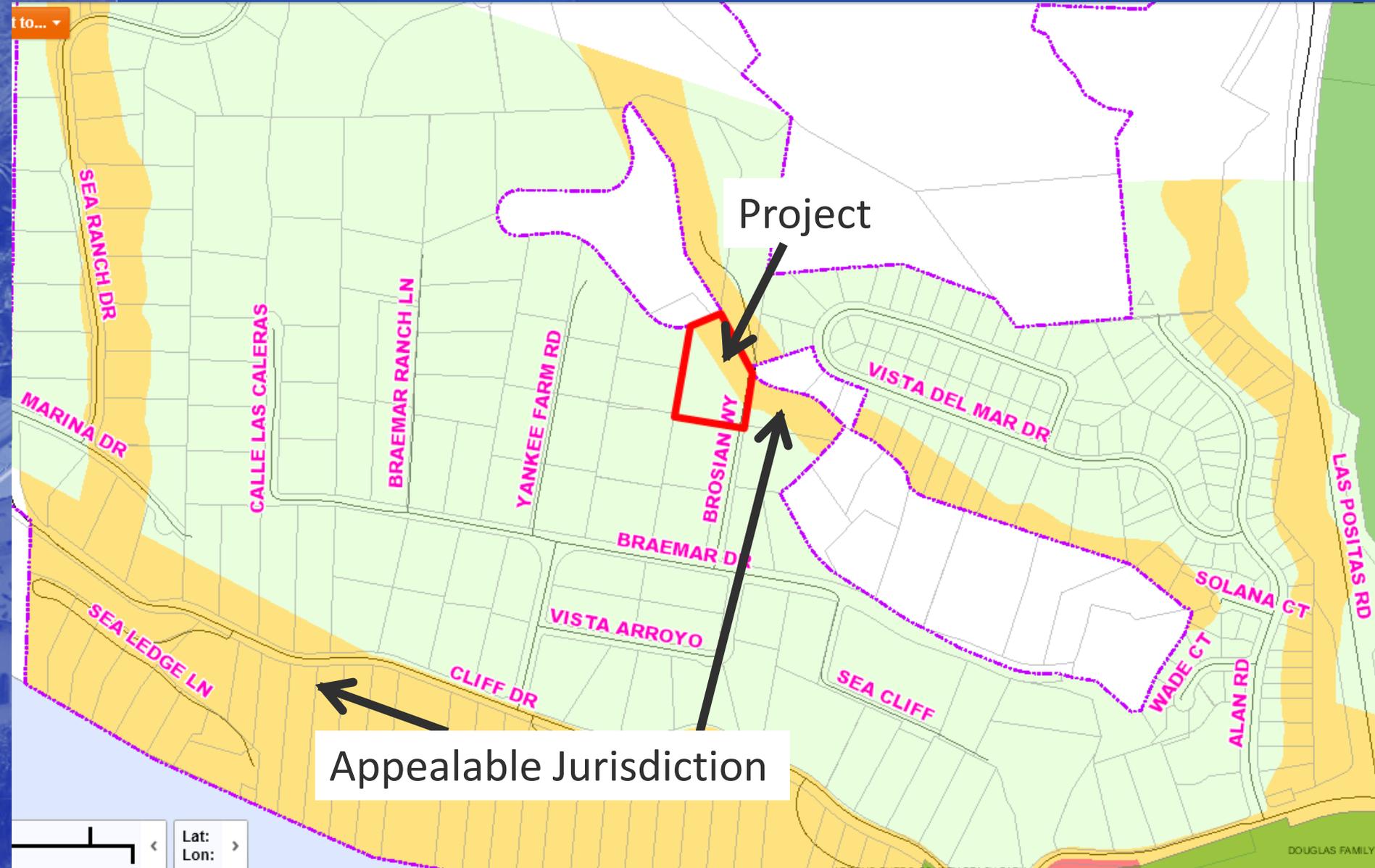


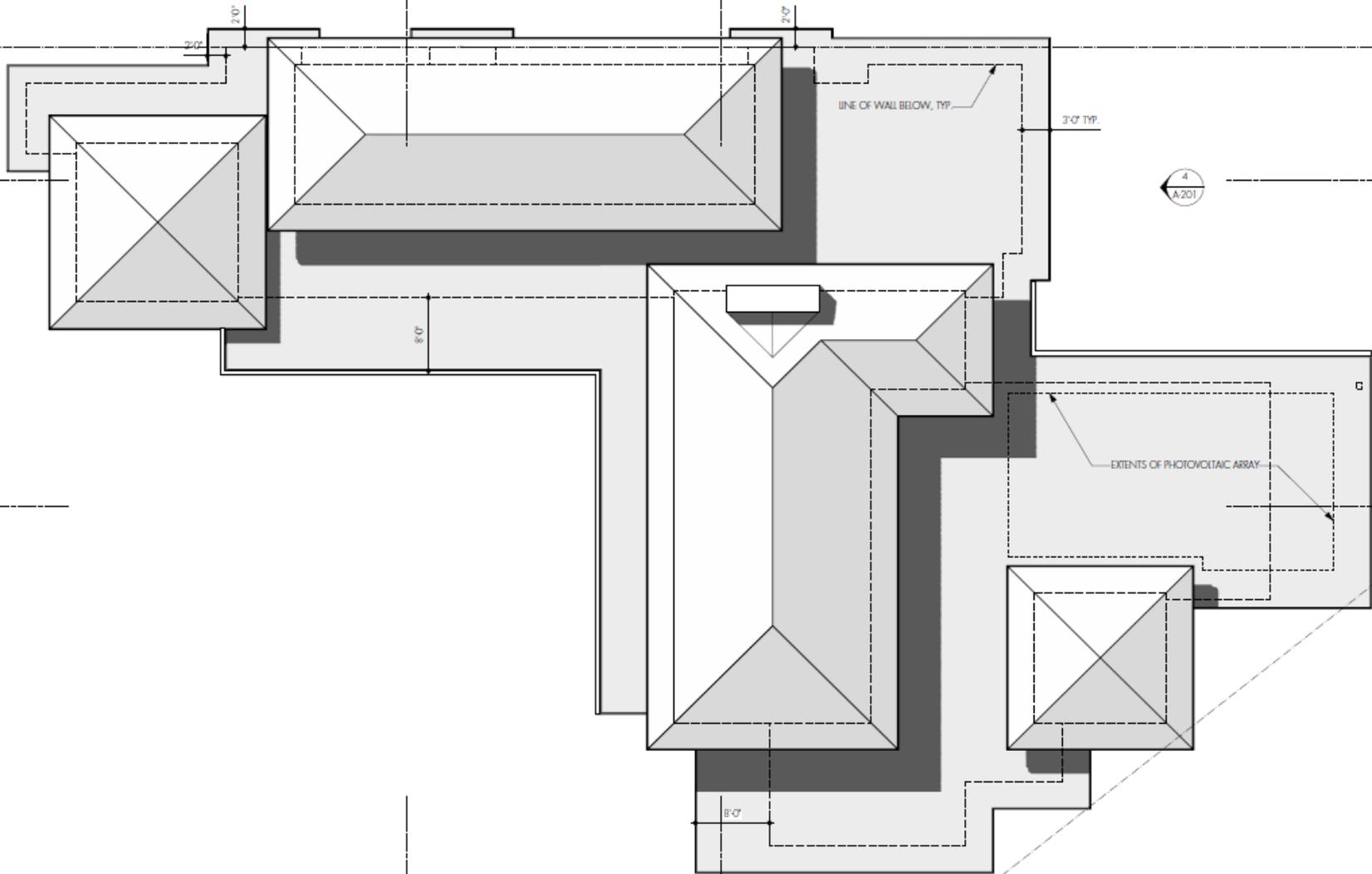
Recommendation

- ◆ That Council deny the appeals and uphold the Planning Commission's approval of a Coastal Development Permit and the Single Family Design Board's Project Design Approval and direct staff to return to Council with Decision and Findings reflecting the outcome of the appeal.



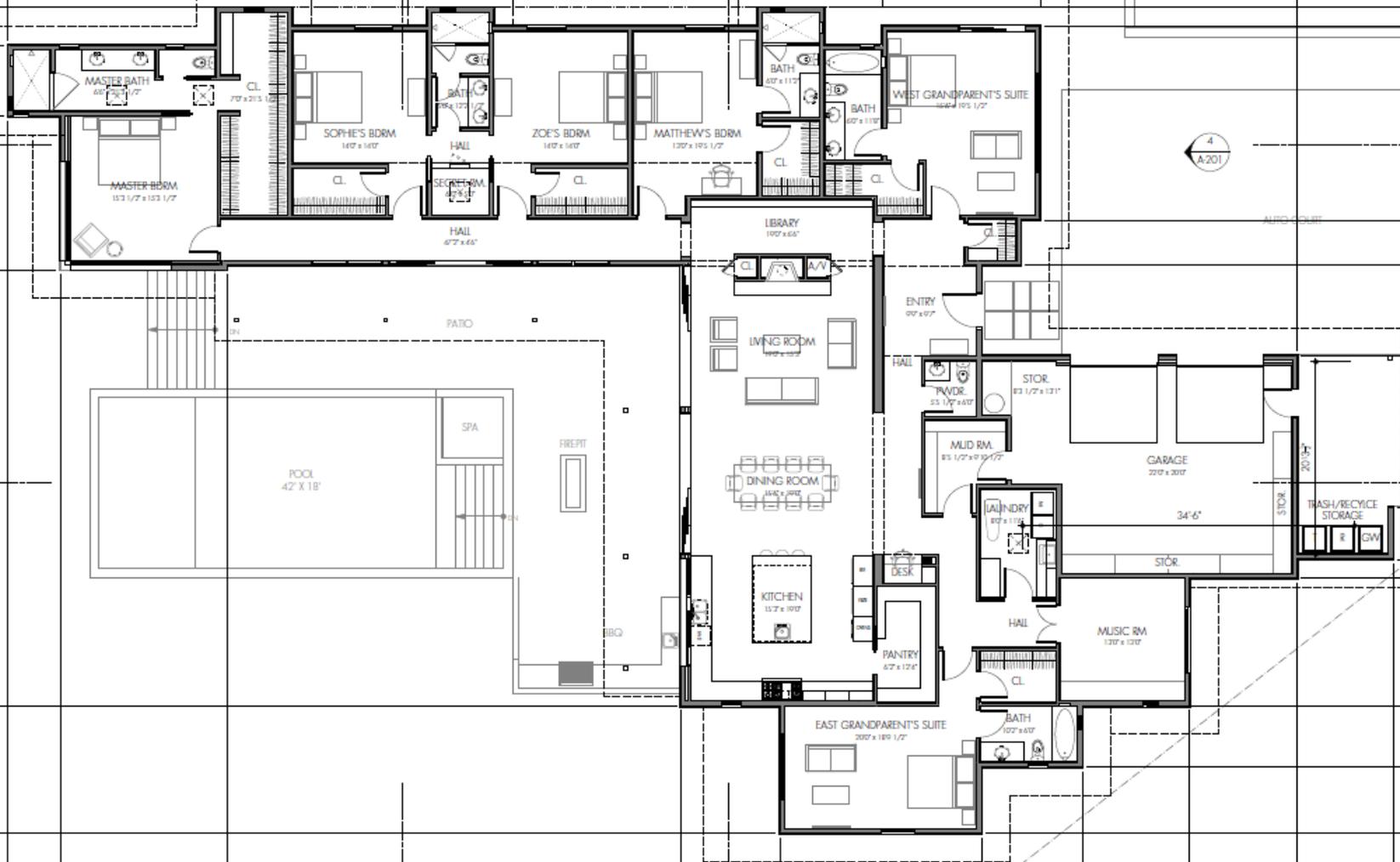
Project Location





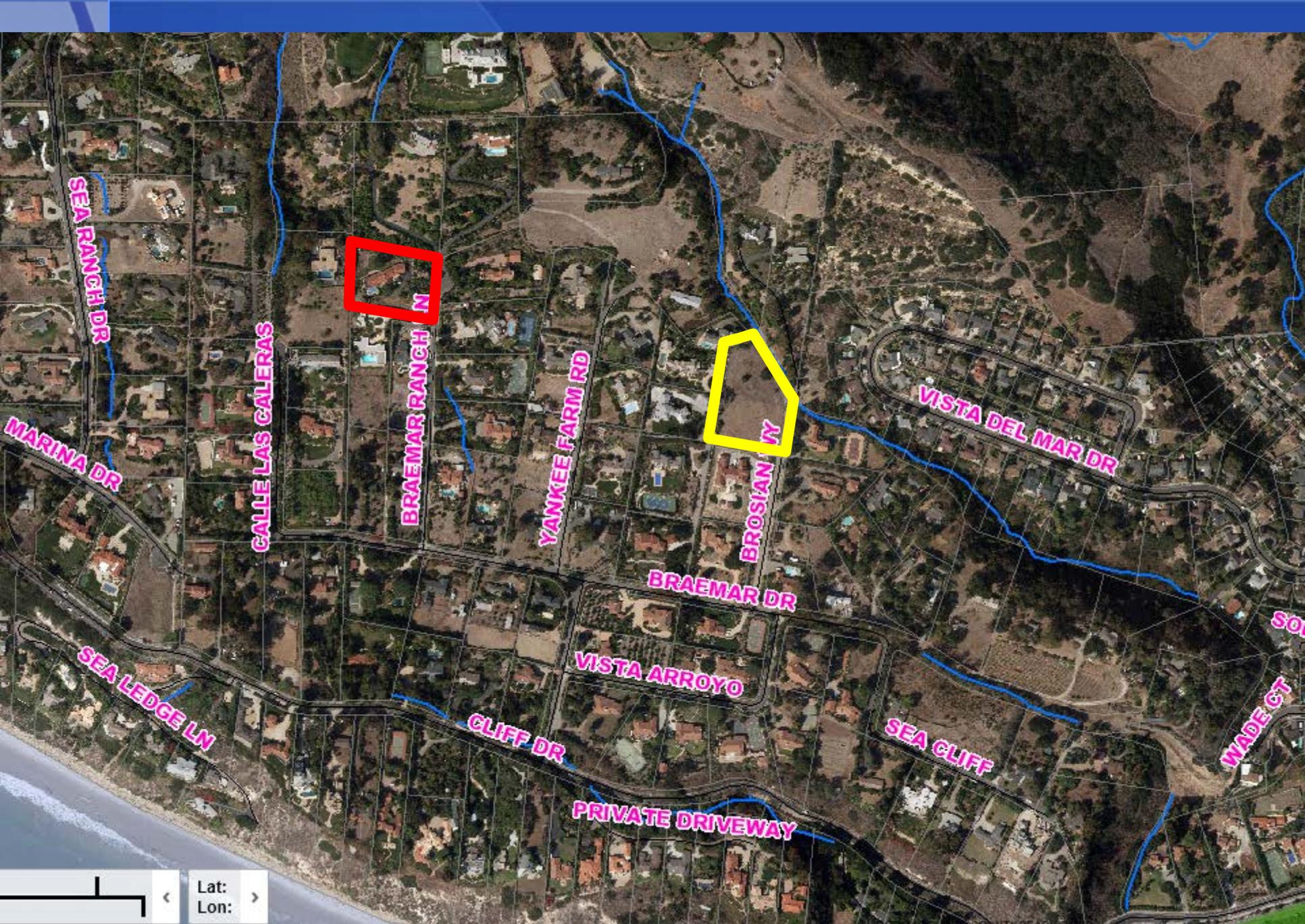
4
A201

1
A201



1
A201

4
A201



SEA RANCH DR

CALLE LAS GALERAS

BRAEMAR RANCH LN

YANKEE FARM RD

BROSIAN WY

VISTA DEL MAR DR

MARINA DR

BRAEMAR DR

VISTA ARROYO

SEA LEDGE LN

CLIFF DR

PRIVATE DRIVEWAY

SEA CLIFF

WADE CT

SO

Lat: >
Lon: >

Project Location

