



Agenda Item No. _____

File Code No. 640.07

CITY OF SANTA BARBARA

COUNCIL AGENDA REPORT

AGENDA DATE: September 30, 2008

TO: Mayor and Councilmembers

FROM: Planning Division, Community Development Department

SUBJECT: Appeal Of Planning Commission Approval Of 800 Santa Barbara Street

RECOMMENDATION:

That Council deny the appeal of the Santa Barbara Trust for Historic Preservation and uphold the Planning Commission approval of the Tentative Subdivision Map and Development Plan Approval for the two- and three-story mixed-use development proposed at 800 Santa Barbara Street.

EXECUTIVE SUMMARY:

The Historic Landmarks Commission (HLC) conceptually reviewed the subject project on three separate occasions and ultimately found the project design and architecture to be of acceptable size, bulk and scale and consistent with the surrounding neighborhood on January 10, 2007. In addition, the HLC reviewed and accepted a Phase 1 Archaeological Resources Survey on February 7, 2007.

On October 4, 2006, a Phase 1 Historic Structures Report was reviewed and accepted and due to revisions to the project, a letter addendum to the Historic Structures Report was reviewed and accepted on March 21, 2007.

On June 12, 2008, the Planning Commission approved the project on a 3/2 vote. Eleven individuals spoke in opposition of the project, expressing concerns related to size, bulk, scale, inadequate environmental review, removal of vegetation and trees, impacts to the Anacapa School, El Presidio, archaeological resources, views, traffic, parking, and air quality. The majority of the Planning Commission found the project to be an appropriate development for the site and neighborhood. Two Commissioners felt that there is too much proposed for the site and preferred that the project return to the HLC for additional review. The project was approved with conditions to set back the building on Santa Barbara Street a minimum of 10 feet and include additional landscaping on the northern property line, adjacent to the Anacapa School, along the Santa Barbara Street frontage and the corner of Santa Barbara and De la Guerra Streets.

On June 19, 2008, the project approval was appealed by the Santa Barbara Trust for Historic Preservation (SBTHP) on the basis that the size, bulk and scale is not appropriate for the project site, inconsistency with the City's Urban Design Guidelines, and inadequate environmental review, especially related to cultural resources (Attachment 1).

It is Staff's position that the HLC adequately reviewed the project's design and architecture as well as the Phase 1 Archaeological Resources Survey and Historic Structure Report. The HLC found the project to be appropriate for the site and compatible with the surrounding neighborhood. The Planning Commission considered the HLC's comments, as well as information and analysis related to the issues identified in the appellant's letter, and appropriately approved the project. Therefore, Staff recommends that Council deny the appeal and uphold the Planning Commission's approval of the project.

DISCUSSION:

Project Description

The applicant for the project is Trish Allen, agent for 800 Santa Barbara Street LLC. The proposed project involves the demolition of the existing 1,965 square foot one-story commercial building and the construction of a 14,344 square foot, two and three-story mixed-use building containing six residential condominiums units and ten commercial condominiums totaling 4,605 square feet. The residential units include five three-bedroom units and one two-bedroom unit, ranging in size from 2,122 square feet to 1,293 square feet. Twenty-five parking spaces are proposed in an underground parking structure, with nine of those spaces provided per a lease agreement with 223 E. De la Guerra Street.

The project would preserve the perimeter sandstone wall and the existing on-site flagpole. In addition, the existing brick pathway would be re-used and continue to provide pedestrian access through the site. The proposed mixed-use building is primarily two stories, with a three-story element at the northeast corner of the project site. The maximum building height is proposed to be 37.5 feet. In addition, a curb extension to improve site visibility and pedestrian safety at the intersection of Santa Barbara and De la Guerra Streets is proposed as part of the project. The modified right-of-way along Santa Barbara and De la Guerra Street would be landscaped with decomposed granite consistent with the surrounding area.

Historic Landmarks Commission Review

On October 4, 2006 HLC accepted a Historic Structures Report prepared by Preservation Planning Associates that analyzed the potential for impacts to historic resources on the project site. The report also analyzed the project's compatibility with and potential impacts to historic resources surrounding the project site, including a

number of nearby adobes and historic structures. This report concluded that the project's impacts to surrounding historic resources is considered less than significant with changes to the project design that were later incorporated into the project design.

The HLC also reviewed the design and architecture of the project on three occasions between October 2006 and January 2007 following acceptance of the Historic Structures Report (Attachment 2, Exhibit D). Although the project's architecture was found to be generally acceptable, concerns were raised regarding the size, bulk and scale of the building. The HLC asked the applicant to consider the proposed building's proximity to the "possible future reconstruction and expansion of the Presidio in its context to a historic state park". In addition, several Commissioners felt that the northwest corner of the proposed building should be set back more than six feet. Direction was given to maximize the landscaping on the project site, including the installation of skyline trees and significant vegetation in the courtyard. The applicant addressed the HLC's concerns by pulling the proposed building away from the Anacapa School property, incorporating additional landscaping and the change in use on the northern property line adjacent to the school from residential to commercial.

On January 10, 2007, the HLC voted 8/0 to continue the project indefinitely to the Planning Commission with positive comments, indicating that they liked the project as a whole and further requested that the plate heights be lowered to the extent possible, that the existing brick paving be re-used and that the paving be kept simple and rustic consistent with the Monterey style.

Planning Commission Review

On June 12, 2008, the Planning Commission reviewed and approved the subject project with a 3/2 vote and added the following conditions of approval: 1) increase the landscaping abutting the De la Guerra Street frontage, including deep-rooted trees, as well as the northwest corner along Santa Barbara Street, and the area abutting Anacapa School. A maximum of four parking spaces could be lost and shall be offset by leased parking spaces in the future, if needed; 2) the setback of the building on Santa Barbara Street shall be increased to a minimum of 10 feet; 3) soften the northerly elevation adjacent to Anacapa School; 4) restripe the crosswalk across Santa Barbara Street to safely align with the pedestrian pathway through the property, subject to review by Transportation and Engineering Divisions for safe alignment of sidewalk; 5) future residents shall be informed of the potential for noise as a result of student activities; and 6) construction impacts to Anacapa School shall be reduced by allowing the loading area in front of the school to remain and not obstruct access to the parking lot. (Attachments 3 and 4)

On June 19, 2008, the Planning Commission's decision to approve the mixed-use project was appealed by the Santa Barbara Trust for Historic Preservation (SBTHP). The appeal letter asserts several reasons for the appeal, including size, bulk and scale, neighborhood compatibility, and potential impacts to archaeological and historical resources.

Appeal Points/Issues

1. *The size, bulk and scale of the project is incompatible with existing development and its setting within the El Pueblo Viejo Landmark District.*

One of the goals of the Urban Design Guidelines is compatibility of new development with the character of the City, the surrounding neighborhood, and adjacent properties. The HLC considers these guidelines in reviewing development proposals. As discussed above, the project was reviewed by the HLC on three separate occasions and while there was initial concern related to the massing of the building, the HLC ultimately found the size, bulk and scale to be acceptable and supported the development of this project in the neighborhood. This conclusion was informed by a historic structures report prepared for the project accepted by the HLC in October 2006 that addressed the project's potential impacts on the character and historic significance of the neighborhood and Presidio-era resources adjacent to the site.

Based on comments and direction from the HLC, the project was revised to address size, bulk and scale and neighborhood compatibility issues by further setting the building back along Santa Barbara Street, replacing the residential use along the northern property line abutting Anacapa School with commercial use and incorporating additional landscaping to buffer the proposed building from the school as well as the Santa Barbara Street and De la Guerra Street corner.

The appellant states that the project violates the City's Urban Design Guidelines because the building is not compatible with existing development in the area, and because the proposal would remove many mature trees and vegetation. While it is true that only three trees would remain in place and four would be relocated on site, the existing agaves planted at the perimeter of the project site would remain and historically used California Pepper and Olive trees would be included in the proposed landscaping of the project site. Both the Planning Commission and HLC found the preliminary landscaping plan to be acceptable. The Planning Commission acknowledged the loss of so many existing trees due to the underground parking structure, a feature that the Planning Commission and HLC generally support. To address the loss of on-site trees, the Planning Commission required that landscaping, including deep-rooted trees, be increased on the site even if up to four parking spaces are lost (Attachment 3). Additional trees and vegetation were also required along the De la Guerra Street frontage, the northwest corner along Santa Barbara Street, and the area abutting Anacapa School.

It is Staff's position that the proposed design and land use is appropriate for the project site. The HLC has found the project to be consistent with the Urban Design Guidelines and compatible with the surrounding area's aesthetics and character and is consistent with other two and three-story commercial and mixed-use buildings in the area.

2. A Categorical Exemption is not appropriate for this sensitive location and project, therefore a full Environmental Impact Report should be prepared.

The appellant contends that a categorical exemption was not appropriate for this project and that issues such as cultural resources, views, noise, air pollution, traffic and parking were not adequately addressed and an EIR should have been prepared.

The Guidelines of the California Environmental Quality Act (CEQA) include a number of types of projects that are generally exempt from environmental review. The Environmental Analyst determined that the project qualifies for an exemption per CEQA Section 15332 which provides for in-fill development projects in urban areas where it is determined that there will be no significant effects to the environment. In order to grant the in-fill exemption, Staff provided an analysis and determined that the project would not result in any significant effect relating to traffic, noise, air quality or water quality (Attachment 2). It was determined that the net new trips associated with the project, would not exceed the City's standard threshold that would result in traffic impacts to nearby intersections, therefore the project would not result in project-specific or cumulative traffic impacts.

In addition, the project provides the 16 parking spaces required by the Zoning Ordinance. Because the project site is located in the Central Business District, the residential parking requirement is one uncovered space per residential unit, with no guest parking requirement and one space per 500 square feet for the commercial area. A total of 16 parking spaces would be provided for the mixed-use development to meet zoning requirements. In addition, the applicant has a private lease agreement with the adjacent property at 223 E. De la Guerra Street to provide nine additional parking spaces. Although not required, these spaces will be maintained and included as part of the project, for a total of 25 spaces. Please note that the total number of parking spaces (25 vs. 27) has been revised to reflect a reduction of two leased spaces, which have been eliminated to allow for additional landscaping. The project would not result in parking impacts.

It was determined that construction noise would have the potential to interfere with normal school yard activities. To mitigate this potential noise impact to a less than significant level, noise barriers were required to reduce the noise levels below 60 dBA. Additionally, based on the scope of the project, air quality impacts from mobile source emissions are not expected to occur. However, short-term dust related impacts could occur during demolition, grading, paving and landscaping activities. Standard dust control mitigation measures during grading and construction activities are required that would further reduce less than significant air quality impacts.

Staff concluded, and the Planning Commission agreed, that view blockage of the mountains by the proposed project would not be substantial enough to result in a significant visual impact. Although the existing character of the Santa Barbara/De la Guerra Street corner would be changed with respect to mountain views, it was determined that the two- and three-story building would not substantially obstruct the existing mountain view. The mountains are currently obscured with the large acacia tree located at the foreground on Santa Barbara Street. With the planned removal of this tree, the mountain range would be more visible as a result of the project even with the proposed building massing.

Based on this, it is Staff's position that the in-fill exemption was appropriate and adequate analysis has been provided regarding the environmental issue areas identified in the appellant's letter.

3. *A more thorough archaeological investigation of the project site should be required, minimally a Phase II archaeological study.*

On February 7, 2007 the HLC reviewed and accepted a Phase 1 Archaeological Resources Survey prepared for the project. The study concluded that the potential to encounter unknown but potentially significant subsurface prehistoric remains (intact and not subject to previous ground disturbance) is unlikely. The study further concluded that intact isolated historic trash pits dating to the Spanish-Colonial era potentially could be present on the site. Specifically, the report found that no evidence of substantial cultural remains exist on the project site ground surface. However, the report acknowledges that the project site is in an area where occupation from the Presidio time period has been documented and is located approximately 300 feet northeast of substantial trash deposits found on the Santa Barbara Historical Society property. Given these circumstances, the report concludes that it is possible that the project site contains unknown, buried Presidio-era cultural deposits. The report found that additional site testing (a Phase II analysis) was not necessary. However, archaeological monitoring of the project site during construction was recommended given the potential for buried resources. With this measure, the project's potential impacts on archaeological resources was determined to be less than significant. A condition of approval has been included by the Planning Commission to require the implementation of the measures identified in the report (Attachment 5).

On April 16, 2008, the Trust for Historic Preservation expressed concern regarding the potential for encountering undisturbed trash pits associated with the Presidio-era on the project site. In order to further reduce the potential for encountering these resources during construction, the Trust requested that subsurface archaeological excavations be undertaken prior to ground disturbance. The project archaeologist, David Stone of Dudek and Associates, reviewed materials submitted by the Trust and concluded that the issues raised by the Trust were adequately covered in the Phase I archaeological

report prepared for the project. Despite this finding, the applicant offered to employ David Stone to conduct the subsurface excavation plan requested by the Trust in order to adequately address their concerns. On May 8th and 9th, David Stone performed 10 shovel test pits on the project site pursuant to the plan presented by the Trust for Historic Preservation staff. The results of the shovel test pit investigation are documented in a Supplemental Subsurface Phase 1 Archaeological Report dated May 30, 2008 (Attachment 5).

While some diffuse, low density deposits of animal bone, tile, brick, ceramics, shellfish, and modern debris were found on the site the report prepared by David Stone of Dudek, concluded that none of the characteristics associated with recorded Presidio-era trash pits (including developed soil strata, and substantial accumulations of animal bone, shellfish, ceramics or tile) were encountered at the project site. The material and soil strata found on the site did not resemble the Presidio-era trash deposits previously encountered on the Santa Barbara Historic Society property that is located 300 feet to the southwest of the property. Additionally, the materials and soils found on the site would not rise to the level of a "historically significant" site as defined in the California Environmental Quality Act Guidelines Section 1504.5.a.3 or the City of Santa Barbara Master Environmental Assessment Guidelines for Archaeological Resources and Structures and Sites (Revised 2002). The report concludes that no new information has been presented to change the findings of the original Phase I Archaeological Investigation accepted by HLC on February 7, 2007.

Staff requested that Dr. Michael Glassow, the City's Cultural Resources Advisor, review the supplemental subsurface report. Dr. Glassow acknowledged the project's proximity to the Presidio and the potential for important historical resources to exist on the property. He believes that the additional investigation undertaken by the applicant increased the information available about the prospect of buried archaeological resources, although the number and size of the shovel test pits may not have been adequate to be certain that significant cultural resources are absent. In correspondence dated June 3, 2008 Dr. Glassow, indicated that the close monitoring of earthmoving by a qualified historical archaeologist would be an appropriate measure to ensure that any significant resources that may be present are identified so that proper treatment may occur as recommended in the January 2007 Phase I report (Attachment 5).

On September 21, 2008, Dr. Glassow sent a letter to the City Council (Attachment 6) relating discussions he had with Dr. Robert Hoover, a historic archaeologist currently serving on the board of the Santa Barbara Trust for Historic Preservation, and expressing concerns regarding his previous concurrence that the recommendation for archaeological monitoring is an appropriate measure. In follow up conversations with Staff, Dr. Glassow clarified that the shovel test pits conducted on May 8 and May 9, 2008, were inadequate to make a definitive determination of the site, due to the lack of testing of large areas currently covered by the existing building and pavement. Dr. Glassow continues to acknowledge the possibility for unknown historic archaeological

resources on the project site, including discrete historic features (remains of small buildings, trash pit, etc.). These statements conform to the conclusions in the approved Phase I archaeological report that there remains a possibility for unknown historic archaeological resources to be present on the site. Dr. Glassow is now concerned that if archaeological monitoring during construction is conducted without sufficient time or methods to allow for thorough exposure, investigation, and documentation of the project site, that historic archaeological resources, if found, could be impacted.

City staff met with Dr. Glassow and Dr. Stone on September 23, 2008. At this meeting, it was agreed that given the type of unknown historic resources that could be present on site, and the Trust's concern regarding such resources potentially existing on the project site, that the recommendation and conditions for archaeological monitoring should be refined to include phasing of project construction to allow for sufficient time for archaeological monitors to thoroughly investigate the site. These recommendations would essentially divide construction into two phases. The first phase would include demolition of the existing structure and removal of pavement located on the property. A historic archaeologist would monitor the demolition of these structures and oversee the controlled removal of soil at the site to a depth determined adequate by the historic archaeologist. The historic archaeologist would thoroughly assess the significance and/or need for documentation of any archaeological resources found on the site through a Phase 3 recovery program. Once the historic archaeologist has completed this investigation and completed any recovery needed on the site, the City would issue a building permit for the construction of the proposed building. These additional details concerning phasing of monitoring and construction have been added to the conditions of approval of the project.

The basic content and findings of the previously approved Phase 1 Archeological Report have not changed. With the added details concerning phasing of construction added to the monitoring recommendation in the report, Dr. Glassow has indicated that the concerns voiced in his September 22, 2008 letter to the City have been addressed. It is, therefore, Staff's opinion that this supplemental information does not require further review by the HLC.

RECOMMENDATION:

The proposed project is an appropriate development in the Downtown area and would not result in adverse impacts to the environment. Both the Planning Commission and the HLC found the project to be compatible with the surrounding neighborhood and with the additional conditions of approval imposed by the Planning Commission the project has been improved. The applicant has subsequently revised the project to comply with the additional setback and landscaping requirement. Staff recommends that Council deny the appeal, upholding the decision of the Planning Commission, including the findings in Resolution #022-08.

NOTE: Attachment 2 (Planning Commission Staff Report dated May 15, 2008) and Attachment 5 (Planning Commission Memorandum dated June 11, 2008 and associated archaeological and information reports) have been sent separately to the Mayor & Council, and are available for public review in the City Clerk's office.

- ATTACHMENTS:**
1. Appellant's letter dated June 19, 2008
 2. Planning Commission Staff Report dated May 15, 2008 (without Exhibit A)
 3. Draft Planning Commission Minutes dated June 12, 2008
 4. Draft Planning Commission Resolution #022-08
 5. Planning Commission Memorandum dated June 11, 2008 and associated archaeological reports and information
 6. Letter from Dr. Glassow dated September 21, 2008

PREPARED BY: Irma Unzueta, Project Planner

SUBMITTED BY: Paul Casey, Community Development Director

APPROVED BY: City Administrator's Office



Santa Barbara Trust for Historic Preservation

ATTACHMENT 1

To Bring Alive the History of Santa Barbara for Present and Future Generations

RECEIVED

JUN 19 2008

CITY CLERK'S OFFICE
SANTA BARBARA, CA

June 19, 2008

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Santa Barbara City Council
Santa Barbara City Clerk's Office, City Hall
De la Guerra Plaza, 735 Anacapa Street
Santa Barbara, CA 93101

Santa Barbara City Council,

The Santa Barbara Trust for Historic Preservation is hereby appealing the June 12, 2008, action of the Santa Barbara City Planning Commission to approve the "Application of Trish Allen, Agent for 800 Santa Barbara Street LLC, Property Owner of 800 Santa Barbara Street, APN: 031-012-028, C-2, Commercial Zone, General Plan Designation: Major Public and Institutional/Offices (MST2006-00129)" The proposed project involves the demolition of the existing 1,965 square foot one-story commercial building and the construction of a 14,747 square foot, two and three-story mixed-use building containing six residential condominium units and ten commercial condominiums totaling 4,838 square feet. The residential mix includes three [sic] three-bedroom units and one two-bedroom unit, ranging in size from 1,316 square feet to 2,249 square feet. The ten proposed commercial condominiums would be [sic] range in size from 400 net square feet to 478 net square feet. Twenty-seven parking spaces are proposed in an underground parking structure, with eleven of those spaces provided per a lease agreement with 223 E. De la Guerra Street.

The discretionary applications required for this project are:

1. A Tentative Subdivision Map for a one-lot subdivision to create eight [sic] residential condominium units and ten commercial units (SBMC Chapters 27.07 and 27.13); and
2. A Development Plan Approval to allow 2,878 square feet of net new non-residential use (SBMC 28.87.300).

The Environmental Analyst has determined that the project is exempt from further environmental review pursuant to the California Environmental Quality Guidelines Section 15332, which allows infill development within urbanized areas."

Preliminarily, we inquire as to the reason why the legally advertised project description and commission agenda list the number of proposed residential units as four, "six" and "eight."

The Santa Barbara Trust for Historic Preservation's grounds for filing this appeal are:

1. The size, bulk and scale of the proposed project are not compatible with existing surrounding developments and its setting within the El Pueblo Viejo Landmark District.
 - Regarding the El Pueblo Viejo Landmark District (EPVLD) the City of Santa Barbara Municipal Code states:

22.22.100 El Pueblo Viejo Landmark District.

A. PURPOSE. The purpose of the El Pueblo Viejo Landmark District is to preserve and enhance the unique historic and architectural character of the central core area of the City of Santa Barbara, which developed around the Royal Presidio, founded in 1782, and which contains many of the City's important historic and architectural landmarks.

As part of the EPVLD the corner property at 800 Santa Barbara Street is a critical element of downtown Santa Barbara, historically and visually, and is located across the street from the Santa Barbara Historical Museum, adjacent to El Presidio de Santa Barbara State Historic Park and immediately adjoining Anacapa School. As proposed, this project would create obvious impacts on the historical and archaeological importance of the site and neighborhood. Not only is the site immediately adjacent to the El Presidio de Santa Barbara State Historic Park, but the proposed building setbacks in the site's northerly portion are too close to the State Historic Park property which the City's General Plan supports, adversely affecting its current and future use. The City General Plan's support for the State Historic Park is not mentioned in the City's documents describing the proposed project.

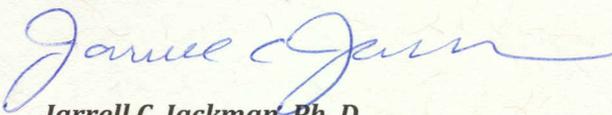
- Furthermore, the City of Santa Barbara's Urban Design Guidelines contains several policies requiring that new buildings be compatible with surrounding developments, their character, landscape features, and layout. The Guidelines state on page 27, "Design the structure in a size, bulk and scale that is comparable to existing surrounding developments" and on page 25 reads, "The development should be compatible with the immediate adjacent developments." As proposed, this project, being so close to Santa Barbara Street and the north property line adjacent to Anacapa School violates the above stated City mandated requirements and other conditions stated in the document.
 - Urban Landscape - The City adopted "Urban Design Guidelines," page 28 states "The preservation and protection of natural features and mature trees is highly desirable. These elements shall be incorporated into development projects to the greatest extent possible." The construction plan removes all planting and many mature trees to accommodate the parking structure and endangers others from over-excavation required for the retaining walls, waterproofing and drains. The three raised planters along De la Guerra Street over the subterranean parking structure will never come close to adequately screening the condominiums from the street. Most replacement trees would be street trees on City property on a proposed bulb-out.
 - In relation to the neighborhood, there are no other three-story buildings or portions of such buildings along either frontage of Santa Barbara Street for over four blocks. This is the historically richest part of El Pueblo Viejo, and it deserves special design considerations.
2. A full Environmental Impact Report (EIR) should be prepared according to the California Environmental Quality Act (CEQA). A categorical exemption is not appropriate for this particularly sensitive location and project. The EIR should focus on all of the following impacts:
- Cultural Resources
 - i. The historic nature of the site located in the El Pueblo Viejo Landmark District and adjacent to El Presidio de Santa Barbara State Historic Park. The site was an original public open space located just outside the Presidio gates, and was used by Presidio inhabitants.
 - ii. Archaeology – A Phase II Archaeology study is needed to adequately assess this highly sensitive cultural resource (see item 3. below)

"The City began in 1782 as a Spanish presidio, or fortress, which was constructed of adobe buildings with tile roofs. A cluster of adobe residences around the presidio formed the original pueblo which became the heart of what is now the downtown area. The site of the Spanish Royal Presidio is of both archaeological and historical importance. Portions of it are contained within El Presidio de Santa Barbara State Historic Park." *Quotation from City of Santa Barbara Master Environmental Assessment, Guidelines for Archaeological Resources and Historic Structures and Sites (January 2002): 44, 2.1.*

- Views – View blockage caused by the proposed project, both of the mountains and neighborhood and of the historic structures, is a serious concern at this highly visible corner property.
 - Noise and Air Pollution – There may be possible health effects of construction and building uses on the students and residents in the immediate area.
 - Traffic and Parking – There is a lack of adequate off-street parking spaces. Only one parking space is proposed to be provided for each residential unit, and no guest parking is proposed for these units. Traffic-calming devices are proposed which need further study.
3. A more thorough archaeological investigation of the project site should be required, minimally a Phase II archaeological study.
- This project undertaking may result in serious damage to valuable historical resources adjacent to El Presidio de Santa Barbara State Historic Park. The project is located immediately outside the southeast bastion of the Presidio on the route of the 18th century El Camino Real (currently being proposed as a World Heritage Corridor), and near the Presidio's original front gate complex. Errors and omissions in the original Phase I archaeological study accepted by City staff on February 7, 2007 led to recommendations for archaeological monitoring during project construction. These errors and omissions were cited in a letter from SBTHP to the Planning Commission dated May 19, 2008 (to be submitted with supporting documents prior to the appeal hearing). Earlier the SBTHP had requested that the applicant test the site with ten shovel test pits. A summary report of the testing had been submitted by Dudek on May 13, 2008, but the results were never reviewed by the Historic Landmarks Commission (HLC) before the June 12, 2008 Planning Commission hearing.

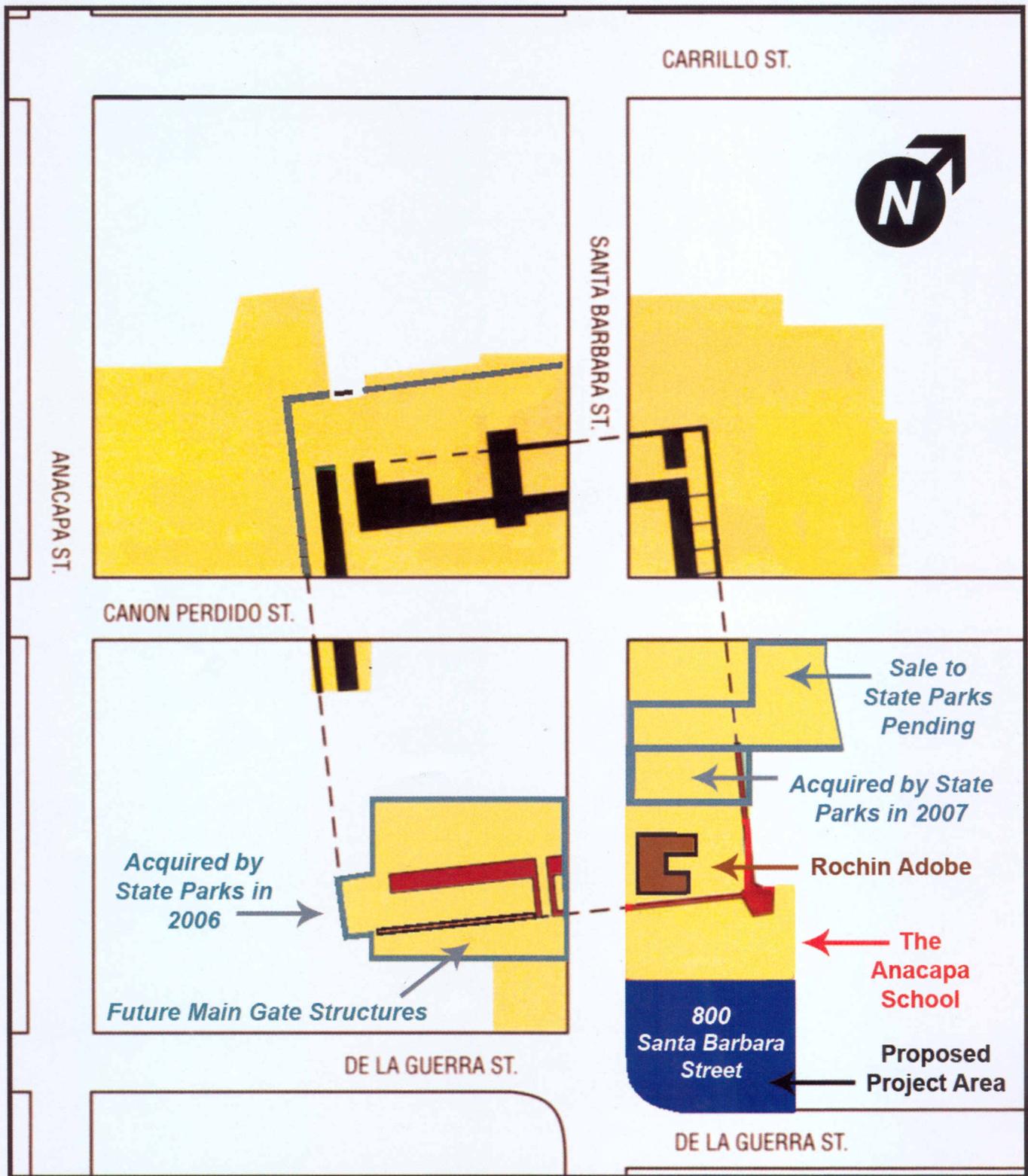
The Santa Barbara Trust for Historic Preservation believes that the project neither complies with the City of Santa Barbara's General Plan nor with the abovementioned codes and guidelines. We request your consideration at a public hearing and that you uphold this appeal.

Sincerely,



Jarrell C. Jackman, Ph. D.
Executive Director

Santa Barbara Trust for Historic Preservation
123 East Canon Perdido Street
Santa Barbara, CA 93101
(805) 965-0093



- El Presidio de Santa Barbara State Historic Park property
- Existing Presidio Structures

Location Diagram

El Presidio de Santa Barbara State Historic Park,
The Anacapa School, and
800 Santa Barbara Street



City of Santa Barbara California

PLANNING COMMISSION STAFF REPORT

REPORT DATE: May 15, 2008
AGENDA DATE: May 22, 2008
PROJECT ADDRESS: 800 Santa Barbara Street (MST2006-00129)
TO: Planning Commission
FROM: Planning Division, (805) 564-5470
Jan Hubbell, AICP, Senior Planner
Irma Unzueta, Project Planner

I. PROJECT DESCRIPTION

The proposed project involves the demolition of an existing 1,965 net square-foot, single story office building and the construction of a two and three story, mixed-use building containing 10 commercial condominiums totaling 4,838 square feet and six residential condominiums. The residential unit mix would be one two-bedroom unit and five three-bedroom units. The units would range in size from 1,316 net square feet to 2,249 net square feet. The 10 commercial units are proposed to be approximately 400 square feet each and could be combined to result in varying unit sizes. Twenty-seven parking spaces are provided in an underground parking garage, with 11 of the spaces allocated through a private parking agreement to the adjacent property at 223 E. De la Guerra Street. Vehicle access to the underground parking garage would be via De la Guerra Street (Exhibits B and C).

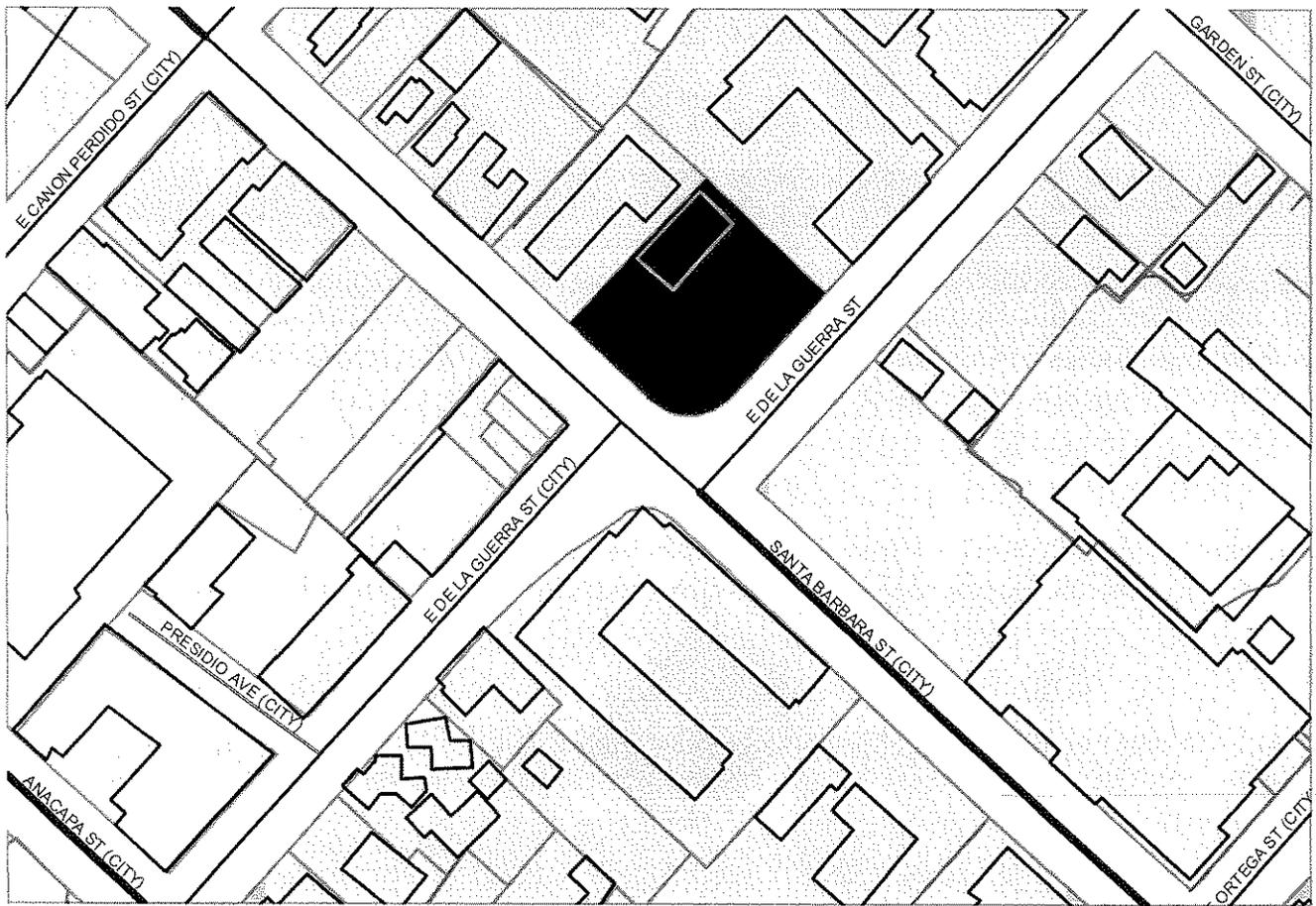
II. REQUIRED APPLICATIONS

The discretionary applications required for this project are:

1. A Development Plan to allow the construction of 2,873 net new square feet of nonresidential development (SBMC §28.87.300); and
2. A Tentative Subdivision Map for a one-lot subdivision to create ten (10) commercial condominiums and six (6) residential condominium units (SBMC§27.07 and 27.13).

III. RECOMMENDATION

The proposed project conforms to the City's Zoning and Building Ordinances and policies of the General Plan. In addition, the size and massing of the project are consistent with the surrounding neighborhood. Therefore, Staff recommends that the Planning Commission approve the project, making the findings outlined in Section VIII of this report, and subject to the conditions of approval in Exhibit A.



VICINITY MAP FOR 800 SANTA BARBARA STREET

APPLICATION DEEMED COMPLETE: February 29, 2008
DATE ACTION REQUIRED PER MAP ACT: August 17, 2008 (with 90 day extension agreed to by the applicant)

IV. SITE INFORMATION AND PROJECT STATISTICS

A. SITE INFORMATION

Applicant: 800 Santa Barbara Street, LLC	Property Owner: 800 Santa Barbara Street, LLC
Parcel Number: 031-012-028	Lot Area: 18,586 sq. ft.
General Plan: Major Public & Institutional/Offices	Zoning: C-2, Commercial
Existing Use: Commercial	Topography: 4% slope
Adjacent Land Uses: North – Anacapa School South – De la Guerra Street East – Commercial Offices West – Santa Barbara Street	

B. RESIDENTIAL STATISTICS

Units	# of Bedrooms	Unit Size (net)	Private Outdoor Living Space
Residential Unit 1	2	1,316 sq. ft.	378 sq. ft.
Residential Unit 2	3	1,580 sq. ft.	703 sq. ft.
Residential Unit 3	3	1,580 sq. ft.	472 sq. ft.
Residential Unit 4	3	1,580 sq. ft.	160 sq. ft.
Residential Unit 5	3	1,592 sq. ft.	131 sq. ft.
Residential Unit 6	3	2,249 sq. ft.	345 sq. ft.

V. ZONING ORDINANCE CONSISTENCY

Standard	Requirement/ Allowance	Existing	Proposed
C-2 Setbacks -Front -Interior -Rear	None Required	69'-150' front yard (Santa Barbara) 89'-127' front yard (De la Guerra) 5'-127' interior yard (north) 5'-150' rear yard (east)	6'-30' front yard (Santa Barbara) 13'-44' front yard (De la Guerra) 3.5'-10' interior yard (north) 0'-32' rear yard (east)
Building Height	C-2=4 stories/60'	1 story/Approx. 13'	2 stories with 3 rd story element Max. height = 37.5 feet
10% Open Space	1,859 sq. ft.	N/A	7,985 sq. ft.
Parking	Commercial = 10 spaces Residential = 6 spaces Total = 16 spaces	22 spaces	Residential=6 spaces Commercial=10 spaces Lease agrmt=11 spaces Total = 27 spaces

Lot Area Required for Each Unit (Variable Density)	1-Bdrm = 1,840 sq. ft. 2-Bdrm = 2,320 sq. ft. 3-Bdrm = 2,800 sq. ft. (1) Two-Bdrm=2,320 sq. ft. (5) Three-Bdrm=2,800sq. ft. Total = 16,320 sq. ft.	N/A	Required = 16,320 sq. ft. Provided =18,586 sq. ft.
Private Outdoor Living Space	72 sq. ft. = 1 bdrm 84 sq. ft. = 2 bdrms 96 sq. ft. = 3+ bdrms	N/A	Unit 1 = 378 sq. ft. Unit 2 = 708 sq. ft. Unit 3 = 472 sq. ft. Unit 4 = 160 sq. ft. Unit 5 = 131 sq. ft. Unit 6 = 345 sq. ft.
Lot Coverage			
Building	N/A	2,398 sq. ft. 12.9%	8,043 sq. ft. 43.3%
Paving/Driveway	N/A	7,186 sq. ft. 38.7%	6,416 sq. ft. 34.5%
Landscaping	N/A	9,002 sq. ft. 48.4%	4,127 sq. ft. 22.2%

The proposed project would meet the requirements of the C-2 Zone. Modifications are not required by this project.

A. PARKING

The property is located within the Central Business District (CBD), which has a requirement of one parking space per 500 square feet of nonresidential square footage. The residential parking requirement is one uncovered space per residential unit, with no guest parking requirement. As such, the Zoning Ordinance would require that six parking spaces be provided for the proposed residential condominiums and 10 spaces for the proposed 4,838 square feet of commercial space (4,838 sq. ft./500 sq. ft. = 9.6 spaces). A total of 16 parking spaces would be required for the mixed-use development. In response to Staff's request to not exceed the Zoning Ordinance requirement for the number of parking spaces, the project provides one space per residential unit and also provides 10 spaces for the commercial portion of the project. According to the applicant, there is a private lease agreement with the adjacent property at 223 E. De la Guerra Street to provide 11 parking spaces. Although not required, these spaces will be maintained and included as part of the project, for a total of 27 spaces.

B. RESIDENTIAL CONDOMINIUM DEVELOPMENT

The project would be consistent with the general City requirements and physical standards for new condominium development, per SBMC §27.13.050 and §27.13.060, respectively. The project would provide the required covered parking, 300 cubic feet of private storage space and laundry facilities for each unit. Each unit would have its own utility meters, and all utilities are proposed to be underground. Each unit would also meet the requirements for private outdoor living space.

C. MEASURE E

The project includes the construction of approximately 4,838 square feet of commercial space, which requires the approval of a Development Plan. Pursuant to the provisions of SBMC §28.87.300, the project site is provided with 2,000 square feet of Measure E nonresidential square footage from the Small Addition category and 1,000 square feet from the Minor Addition category for a total of 3,000 square feet. The project would receive a demolition credit of 1,965 square feet for the existing commercial building that is proposed to be removed as part of the project. Therefore this proposal would require approximately 2,873 Measure E nonresidential square footage (4,838 SF proposed – 1,965 SF demolished = 2,873 SF).

VI. ISSUES

A. DESIGN REVIEW

This project's design and architecture was reviewed by the HLC on three separate occasions (meeting minutes are attached as Exhibit D). On October 4, 2006, the Commission found the architecture generally acceptable, but felt that the size, bulk and scale should be reduced to provide a buffer from the properties to the north and east. HLC directed the applicant to consider the proposed building's proximity to the "possible future reconstruction and expansion of the Presidio in its context to a historic state park". The Commission asked that landscaping be maximized, including the incorporation of skyline trees and significant vegetation on the courtyard. The HLC expressed support for any reduction in public paving, including the realignment of the corner with the proposed bulb-out. As part of the public comment, a representative from Anacapa School expressed concern regarding the setbacks on the northern property line and the proposed residential balconies overlooking the school yard. Representatives from the Trust for Historic Preservation expressed concern regarding the project's effect on the future Phase III reconstruction plans for El Presidio. Concern was also raised regarding the potential adverse effects on the adjacent Neighborhood House building.

On November 15, 2006, the HLC stated that the proposal was improved. The HLC appreciated the axial layout and felt that it was appropriate. However, some HLC members felt that the narrowest part of the throat on the central axis should be "opened up". Several Commissioners felt that the northwest corner of the proposed building should be set back more than six feet. Several public members and adjacent neighbors provided comments to the HLC regarding the historic neighborhood surrounding the project site, the importance of the Neighborhood House located at 223 E. De la Guerra Street, and the restored Presidio. Representatives from the Anacapa School located adjacent to the project site expressed concern regarding potential student noise complaints from future residents of the proposed project. Student safety during construction was also identified as a concern.

On January 10, 2007, the HLC provided positive comments, stating that they liked the project "as a whole". In particular, the HLC was pleased with the manner in which the corner was addressed, including the landscape screen, how the building was pulled back from the Anacapa School and the change in use on the northern property line adjacent to the school from residential to commercial. The HLC asked the applicant to not roof the bridge (connecting the

north and south portions of the building), to lower plate heights to the extent possible in order to accurately mimic the Monterey style, to reuse the existing brick paving, and to keep paving simple and rustic to be consistent with the Monterey style. A representative from Anacapa School expressed appreciation regarding the change in use along the northern property line from residential to commercial, but stated that concerns regarding safety, access to school's parking and disruption of school activities during construction still remain. Please see discussion below under noise and traffic that addresses concerns raised regarding Anacapa School.

B. UNIT SIZE

With respect to the Planning Commission's informal guideline that residential condominium unit sizes be limited to 85% of the lot area required under variable density, the table below shows that all the proposed units would comply with this guideline.

Unit Number	Proposed Unit Size (net square feet)	85% of Lot Area	Complies with 85% Guideline
Unit 1	1,316 sq. ft.	1,972 sq. ft.	complies
Unit 2	1,580 sq. ft.	2,380 sq. ft.	complies
Unit 3	1,580 sq. ft.	2,380 sq. ft.	complies
Unit 4	1,580 sq. ft.	2,380 sq. ft.	complies
Unit 5	1,592 sq. ft.	2,380 sq. ft.	complies
Unit 6	2,249 sq. ft.	2,380 sq. ft.	complies

C. COMPLIANCE WITH THE GENERAL PLAN

Before a condominium project and a tentative map can be approved, they must be found consistent with the City's General Plan. The project site is located in the Laguna Neighborhood, which is an area of mixed commercial, educational and cultural uses.

Land Use Element: The General Plan designation for this property is Office and Major Public & Institutional; residential uses are also allowed in areas so designated. As such, the residential portion of the mixed-use development would be subject to the density requirements of the R-3/R-4 (Multiple Family Residential) Zone, which allows 12 dwelling units to the acre. The Land Use Element of the General Plan recognizes, however, that in zones where variable density standards apply, development may exceed the limit of twelve units per acre. With the application of variable density standards, the proposed condominium development would result in a density of approximately 14.06 dwelling units per acre. Therefore, the project would be consistent with the General Plan in this regard.

Housing Element: The City Housing Element encourages construction of a wide range of housing types to meet the needs of various household types. This proposal would satisfy that goal through the mix of unit types proposed.

A goal of the Housing Element is to assist in the production of new housing opportunities, through the public and private sector, which vary sufficiently in type and affordability to meet

the needs of all economic and social groups. Additionally, Santa Barbara has very little vacant or available land for new infill residential development, and, therefore, the City has supported build-out of housing units in the City's urban areas where individual projects are deemed appropriate and compatible. The provision of two and three-bedroom units, ranging from 1,316 to 2,249 square feet in size, would provide some variability in the additional housing stock being provided by this project.

Neighborhood Compatibility: In accordance with Housing Element Policy 3.3, which requires new development to be compatible with the prevailing character of the neighborhood, the proposed building would be compatible in scale, size and design with the surrounding neighborhood.

One of the goals of the Urban Design Guidelines is compatibility of new development with the character of the City, the surrounding neighborhood, and adjacent properties. The Historic Landmarks Commission considers the Urban Design Guidelines in reviewing development proposals. As discussed above, the HLC was supportive of the mass, bulk, and scale of the proposal, and while some project details still need studying as part of subsequent design review, they are supportive of the development of this project in this neighborhood.

Because De la Guerra Street shifts several feet to the south at its intersection with Santa Barbara Street, the view from State Street down De la Guerra Street is qualitatively different than other Downtown streets. Instead of being an ongoing street corridor with buildings on both sides, this corridor is interrupted by a heavily vegetated site with gracious setbacks for the existing building. Due to this configuration, this corner of the intersection is particularly prominent. Additional development of this site must be carefully designed given the uniqueness and openness of the site. While the incorporation of the existing agaves and historically used trees are intended to retain the vegetated character of the existing project site, the change from a substantially vegetated corner with an existing single story building which is set back a considerable distance from both Santa Barbara and De la Guerra Streets, to a predominately two-story building which dominates the street frontages, would effect the visual uniqueness and openness of this corner.

The surrounding neighborhood is comprised of a mix of office, residential, and commercial buildings, which range from one to three stories in height. Adjacent to the project site on the west is Santa Barbara Street, Anacapa School on the north, a commercial/office building on the east and De la Guerra Street on the south. The maximum height of the proposed structure would be approximately 37.5 feet, which is comparable with other three-story structures in the surrounding neighborhood. Additionally, the building can be considered compatible with the architectural style of surrounding buildings.

While staff does have some concerns about the change from views of heavy vegetation to views that include more buildings, mountain views would remain substantially similar to the existing views (see discussion in Environmental Review below). In addition, the project proposes vegetation along both street frontages. Thus, the project can be found consistent with the type and massing of surrounding development in the neighborhood.

Circulation Element: The Circulation Element contains goals and policies that promote housing in and adjacent to the downtown to facilitate the use of alternative modes of transportation and to reduce the use of the automobile. For example, Circulation Element Implementation Strategy 13.1.1 encourages “the development of projects that combine and locate residential uses near areas of employment and services.” This project provides housing as well as commercial space in the downtown and is, therefore, consistent with this goal.

Intersection improvements at the corner of Santa Barbara and De la Guerra Streets are intended to provide pedestrian site visibility at the crosswalk located in front of the project, which is currently limited due to the off-set configuration of this intersection. The proposed bulb-out at the corner along the property frontage would square off this corner thereby promoting pedestrian safety. The bulb-out would shorten the pedestrian crossing and require vehicular traffic to make more of a 90 degree turn from De la Guerra Street on to Santa Barbara Street. Additional public improvements, including directional ramps, sidewalks and wider parkways would serve to enhance the pedestrian experience. These elements of the proposed project would be consistent with the goals of the Circulation Element and Pedestrian Master Plan.

D. ENVIRONMENTAL REVIEW

Cultural Resources – Archaeological: The project site is located within four sensitivity zones for archaeological resources. A Phase I Archaeological Resource Survey was prepared by Stone Archaeological Consulting in January 2007 and accepted by the HLC on February 7, 2007. The study concluded that the potential to encounter unknown but potentially significant subsurface prehistoric remains (intact and not subject to previous ground disturbance) is unlikely. However, there is the potential that intact isolated historic trash pits dating to the Spanish-Colonial era could be present. These resources would be considered potentially historic under state and local criteria, and impacts to such resources would be potentially significant. Based on this, the report identifies measures intended to reduce potential significant impacts to unknown intact historic archaeological features such as trash pits associated with the Santa Barbara Presidio. A condition of approval has been included to require the implementation of these measures.

Recently, the Trust for Historic Preservation expressed concern regarding the potential for encountering undisturbed trash pits associated with the Presidio-era on the project site. In order to further reduce the potential for encountering these resources during construction, the Trust requested that subsurface archaeological excavations be undertaken prior to ground disturbance. In response to this request, 10 shovel test pits were performed at the project site on May 8th and 9th under the direction of the project archaeologist, David Stone of Dudek. The shovel test pit excavation did not produce any evidence of a pit or refuse area associated with the occupation of the Presidio or the Teodoro Arrellanes adobe. Therefore, the findings associated with this investigation do not change the conclusions of the previously HLC approved Phase 1 Archeological Report (Stone Archaeological Consulting 2007) and further mitigation is not required.

Cultural Resources – Historic Resources: Due to the project’s potential to adversely impact existing historic resources adjacent to the project site and in the surrounding neighborhood,

Staff requested that a Historic Structures Report (HSR) be prepared that analyzed the historic significance of the existing building proposed to be demolished, the relocation of the flagpole, the brick pathway and stairs, the sandstone walls and vegetation, and the adjacent historic structure located at 223 E. Del la Guerra Street. Staff also requested that the relationship of the proposed project with the Rochin Adobe (820 Santa Barbara Street) and its effect on the context of the adobe be addressed in the HSR.

A Phase 1 Historic Structures Report was prepared by Preservation Planning Associates in August 2006 and accepted by the HLC on October 4, 2006 (Exhibit E). The report concluded that the office building at 800 Santa Barbara Street is not considered eligible as a Structure of Merit or Landmark and therefore, its demolition would not result in a significant historic resources impact. However, the sandstone wall at the perimeter of the project site was determined to be eligible as a Structure of Merit. The wall is considered a familiar and established feature at this corner, dating to the 1920's and considered a part of the old Neighborhood House landscaping. In addition, the existing landscaping associated with the project site contributes to the visual character of the neighborhood. The individual trees on the property are not considered significant, but the report states that the extensive landscaping has become a familiar visual feature of the streetscape and therefore was considered in the analysis of the potential impacts of the project.

There are a number of Landmark adobes (Historic and Covarrubias adobes, Historical Society Building, etc.), as well as other buildings on the City's potential list in the surrounding area. Although the report stated that the proposed building would not impact these historic buildings because the project site is sufficiently removed from them, the HLC required that this statement be changed to reflect that the proposed building's presence as a "larger-scale building *may* impact these historic buildings". However, the project's impacts are considered to be less than significant.

The Rochin adobe is located two doors down from the project site and other historic buildings are at least a block away on De la Guerra Street. Adjacent to the east of the project site is 223 E. De la Guerra Street, considered a potentially significant building. The HSR concludes that the proposed project is compatible with the historic materials, features, size, scale, proportions and massing of the adjacent building at 223 E. De la Guerra and therefore the project would not result in a significant impact on this building.

The perimeter sandstone wall is proposed to be retained and incorporated into the project design. The existing flagpole at the east end of the walkway would be preserved, and the existing brick walkway would be reused. The report acknowledges the existing landscaping that would be retained as well as the new plantings that are proposed, but recommends that the black acacia tree that is pushing the perimeter wall out of alignment be removed. It also recommends that all new planting be set back sufficiently, so they do not damage the wall. The report also directs that, where it is necessary to cut through the sandstone wall for new uses, that the existing configuration of the wall be copied.

On March 21, 2007, the HLC reviewed and accepted a letter addendum to the HSR previously prepared for the subject property (Exhibit F). The addendum addressed the potential historic resources impacts that could occur due to project revisions. The addendum states that the

Rochin adobe and the former Neighborhood House (223 E. De la Guerra Street) could be potentially impacted by the project. However, because the redesign incorporates features that are considered sensitive and compatible with both these buildings, impacts would be less than significant and additional mitigation is not required.

Hazardous Materials: According to a letter dated October 12, 2007, from the Santa Barbara County Fire Department, file review of the project address indicated that shallow groundwater beneath the site may be contaminated with chlorinated solvents (Exhibit G). Due to the presence of these chemicals, the Fire Department recommended that conditions of approval be imposed requiring that, prior to building permit issuance, the applicant either perform a soil vapor survey and human health assessment or develop an engineered control to mitigate potential vapor intrusion into any planned on-site building. The applicant has incorporated provisions for either of these recommendations into their project description. A condition of approval requiring Fire Department review and acceptance of the soil vapor survey and human risk assessment or an engineered control has been included.

Visual Resources: During the application review process, Staff expressed concerns regarding the change in massing that would result from the proposed project, as well as potentially adverse impacts to the existing streetscape along Santa Barbara and De la Guerra Streets. Staff requested that the applicant provide a visual representation of the streetscape changes in order to understand the mass, bulk, and scale in relationship to neighboring properties and the changes to surrounding mountain views. Photo simulations were prepared to assist staff in determining whether the proposed mixed-use building would result in visual aesthetic issues related to the potential blockage of the Santa Ynez Mountains, as well as the removal of substantial amounts of vegetation on the project site.

Based on the photo simulations of the proposed building (Exhibit H), and specifically the simulation showing the vantage point from mid block on De la Guerra Street, between Anacapa and Santa Barbara Streets, Staff concluded that view blockage of the mountains by the proposed project would not be substantial enough to result in a significant visual impact. Although the existing character of the Santa Barbara/De la Guerra Street corner would be changed with respect to mountain views, it was determined that the two and three story building would not substantially obstruct the existing mountain view. It should be noted, that the mountains are currently obscured with the large acacia tree located at the foreground on Santa Barbara Street. With the planned removal of this tree, the mountain range would be more visible even with the proposed building massing.

The majority of the existing trees are proposed to be removed due to the scope of the project. Only three trees would remain in place and four would be relocated on site. However, the agaves currently existing on the perimeter of the project site would remain and proposed landscaping would include historically used California Pepper and Olive trees.

Infill Exemption (CEQA Section 15332)

The Guidelines of the California Environmental Quality Act (CEQA) include a number of types of projects that are generally exempt from environmental review. Staff and the Environmental Analyst have determined that the project qualifies for an exemption per CEQA

Section 15332 which provides for in-fill development projects in urban areas where it is determined that there will be no significant effects as identified by the following criteria:

1. ***The project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation regulations.***

The General Plan designation for this area is Office and Major Public & Institutional. As discussed above, there are several General Plan policies as well as zoning regulations that apply to the project. Planning Staff's conclusion is that the project is consistent with the General Plan Land Use Designation, Zoning designation, and applicable policies and regulations.

2. ***The proposed development occurs within city limits on a project of no more than five acres substantially surrounded by urban uses***

The lot size of the project site is 18,586 square feet (0.43 acre) and is within the city limits. The project area is urban and developed with a mix of commercial, office, cultural and educational uses.

3. ***The project site has no value as habitat for endangered, rare or threatened species.***

The site has been previously disturbed and has no value as habitat for endangered, rare or threatened species.

4. ***Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.***

- a. ***Traffic***

The applicant provided a trip generation and intersection impact analysis, prepared by Associated Transportation Engineers (ATE), dated September 12, 2007 (Exhibit I). The study estimated that the proposed project would generate approximately 13 net new AM peak hour trips, 14 net new PM peak hour trips, and 106 net new average daily trips compared with the existing development. This trip generation was based on gross square footages of new floor area, consistent with the Institute of Transportation Engineers (ITE) methodology. The study also provided a level of service (LOS) analysis for both signalized intersections and unsignalized intersections at four different intersections near the project site.

The City of Santa Barbara has established the following threshold criteria to determine if a project has a significant traffic impact:

- A project-specific significant impact is deemed to have occurred if a development project would cause the volume-to-capacity (V/C) ratio at an intersection to exceed 0.77, or if the project would increase the V/C ratio at intersections which already exceed 0.77 by 0.01.

- A cumulative project significant impact is deemed to have occurred if a development project would add traffic to an intersection which is forecast to operate above $V/C = 0.77$ with cumulative traffic volumes.

The City's practice is to follow five trips in any direction to or from a site to determine compliance with the cumulative threshold. Once less than five trips are determined to be headed in any one direction, distribution (or "following") of these trips ceases because Staff cannot state with statistical certainty where these trips would be headed on a daily basis.

The ATE study provided a trip distribution analysis, comparing the existing AM and PM peak hour volumes to the existing plus project AM and PM peak hour traffic volumes. Based on the trip distribution of the net new trips associated with the project, it is estimated that the project would not exceed the City's standard threshold that would result in traffic impacts to the nearby intersections. Thus, the Transportation Division anticipates that this project would not generate project-specific or cumulative traffic impacts.

b. *Noise*

According to the City's Master Environmental Assessment (MEA), the project site is located in an area of noise levels between 60-65 dBA (decibels). The required private outdoor living spaces for the residential units must not be exposed to noise levels in excess of 60 dBA. The acoustical analysis prepared for the project identifies traffic on Santa Barbara Street and to a lesser extent the traffic on De la Guerra Street as the primary noise contributors (Exhibit J). Noise associated with the Anacapa School to the north of the property usually occurs during recess activities in the school yard and other outdoor activities. The analysis concludes that all outdoor living spaces for the units would be below 60 dBA. Therefore, potential exterior noise impacts to the residential units are expected to be less than significant.

The Anacapa School is considered the most sensitive receptor that would be affected by project construction noise. The construction period for the project is expected to be approximately 52 weeks. The report states that the highest noise potential is expected to occur within the first five weeks of construction. The average noise levels would range from 60 to 70 dBA at the school yard. These levels have the potential to interfere with normal school yard activities. To mitigate this potential noise impact, the report recommends the use of noise control blankets as noise barriers. This measure is expected to reduce noise levels below 60 dBA, and therefore construction noise impacts to the adjacent school are expected to be less than significant. A condition of approval has been included to require the use of noise control blanket/curtain with a Sound Transmission Class (STC) rating of 25.

c. *Air Quality*

The City of Santa Barbara uses the Santa Barbara County Air Pollution Control District's (APCD) thresholds of significance for air quality impacts. Based on the APCD's Land Use Screening Table, a project of six residential units and 4,838 square

feet of commercial space would not result in significant air quality impacts. Due to the fact that the project is much smaller than those identified on the table, it is expected that there would be less than significant air quality impacts from mobile source emissions.

The project would involve demolition, grading, paving and landscaping activities which could result in short term dust related impacts; however, the applicant would be required to incorporate standard dust control mitigation measures during grading and construction activities. These measures are included as conditions of approval and would further reduce less than significant air quality impacts.

d. *Water Quality*

The project site is currently developed with urban uses and is subject to the City's Storm Water Management Plan. The project proposes a detention basin to retain storm water runoff. The proposed detention facility would have adequate capacity to retain a 100 year storm event and is expected to decrease storm water runoff below pre-development levels. The detention facility would delay runoff from leaving the site allowing time for the contaminants to be broken down by vegetation and sunlight, thereby improving runoff water quality. A condition of approval is included that requires that the first inch of runoff be treated on-site and that the runoff be directed into passive water treatment facilities, such as bioswales and landscape features. With the implementation of this condition, the proposed project would have less than significant impacts on water quality.

5. *The site can be adequately served by all required utilities and public services.*

All utilities are existing and available at the site and can be extended to the development. The proposed project would result in an insignificant increase in demand for public services, including police, fire protection, electrical power, natural gas and water distribution and treatment.

VII. CONCLUSION

As discussed in this Staff Report, this project can be found consistent with the requirements of the C-2 zone and applicable policies of the City's General Plan. The proposed development would not result in adverse impacts to the environment and would provide infill mixed-use development in the Downtown area. In addition, the project has been reviewed by the HLC and found to be appropriate for the property and compatible with the surrounding neighborhood. While Staff can support the project, concerns remain regarding the change that would result to this particular project site, which is located in an area characterized by a large number of historic buildings. The subject property sits on a corner which is heavily vegetated and distinctively configured, making it visibly prominent. The removal of the existing vegetation, which has been determined by the HSR to be a character defining feature of the project site, and the development of a larger-scale building set back considerably less than the existing building, will result in a changed character for this corner.

VIII. FINDINGS

The Planning Commission finds the following:

A. THE TENTATIVE MAP (SBMC §27.07.100)

The Tentative Subdivision Map is consistent with the General Plan and the Zoning Ordinance of the City of Santa Barbara. The site is physically suitable for the proposed development, the project is consistent with the variable density provisions of the Municipal Code and the General Plan, and the proposed use is consistent with the vision for this neighborhood of the General Plan. The design of the project will not cause substantial environmental damage, and associated improvements will not cause serious public health problems.

B. THE NEW CONDOMINIUM DEVELOPMENT (SBMC §27.13.080)

1. There is compliance with all provisions of the City's Condominium Ordinance.

The project complies with density requirements. Each unit includes laundry facilities, separate utility metering, adequate unit size and storage space, and the required private outdoor living space.

2. The proposed development is consistent with the General Plan of the City of Santa Barbara.

The project is consistent with policies of the City's General Plan including the Land Use Element, Housing Element, Conservation Element, Noise Element and Circulation Element. The proposed development is consistent with the principles of sound community planning and will not have an adverse impact upon the neighborhood's aesthetics, parks, streets, traffic, parking and other community facilities and resources. The project will provide infill residential and commercial development in the downtown that is compatible with the surrounding neighborhood.

3. The proposed development is consistent with the principles of sound community planning and will not have an adverse impact upon the neighborhood's aesthetics, parks, streets, traffic, parking and other community facilities and resources.

The project is an infill mixed-use project proposed in an area where residential and commercial development is a permitted use. The project is adequately served by public streets, will provide adequate parking to meet the demands of the project and will not result in traffic impacts. Adequate park facilities exist nearby, and the project would not adversely impact other community resources, such as water, sewer, police, fire, and schools. The design has been reviewed by the City's design review board, which found the architecture and site design appropriate.

C. FOR THE DEVELOPMENT PLAN (SBMC §28.87.300)

1. The proposed development complies with all provisions of the Zoning Ordinance.

The proposed development complies with all provisions of the Zoning Ordinance, specifically the provisions of the C-2, Commercial Zone designation.

2. The proposed development is consistent with the principles of sound community planning.

The project site is located in the Land Use Element's Laguna Neighborhood and has a General Plan Designation of Major Public & Institutional and Offices and a Zoning Designation of C-2, Commercial. The Laguna Neighborhood is developed with single-family dwellings, duplexes, and higher-density multiple units in the eastern and northern portions and mixed residential and commercial uses on the west as it merges with the downtown. The project is a mixed-use proposal and represents an infill development on the subject site. It would allow for additional residential units and commercial spaces in the Downtown area, and is consistent with the existing mix of uses in the surrounding neighborhood. Parcels immediately adjacent to the site are developed with commercial, cultural and educational uses.

3. The proposed development will not have a significant adverse impact upon the neighborhood's aesthetics/character in that the size, bulk or scale of the development will be compatible with the neighborhood.

The HLC conceptually reviewed the project and found the design and land use to be appropriate. The project is compatible with the surrounding area's aesthetics and character and is consistent with other two and three-story commercial and mixed-use buildings in the immediate area. The project is also consistent with the Urban Design Guidelines.

4. The proposed development would not have a significant unmitigated adverse impact upon City and South Coast affordable housing stock.

The proposed project would contribute six units to the City and South Coast housing stock and thus, would result in a positive impact to the region's housing stock.

5. The proposed development will not have a significant unmitigated adverse impact on the City's water resources.

The proposed project is estimated to demand 2.26 AFY, which would not significantly impact the City's water supply. There is adequate water to meet the needs of the proposed development. The proposed project receives water service from the City of Santa Barbara and is within the anticipated growth rate for the City. Therefore, the City's long-term water supply and existing water

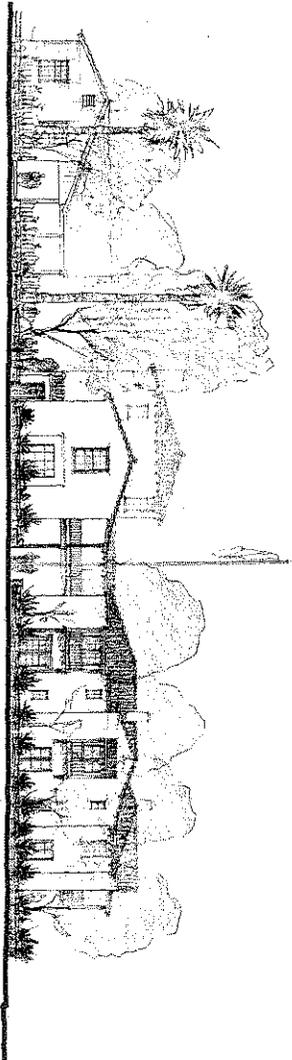
treatment and distribution facilities would adequately serve the proposed project.

6. The proposed development will not have a significant unmitigated adverse impact on the City's traffic.

Transportation Staff has reviewed the project and determined that the project would not result in significant project or cumulative impacts to any impacted intersection.

Exhibits:

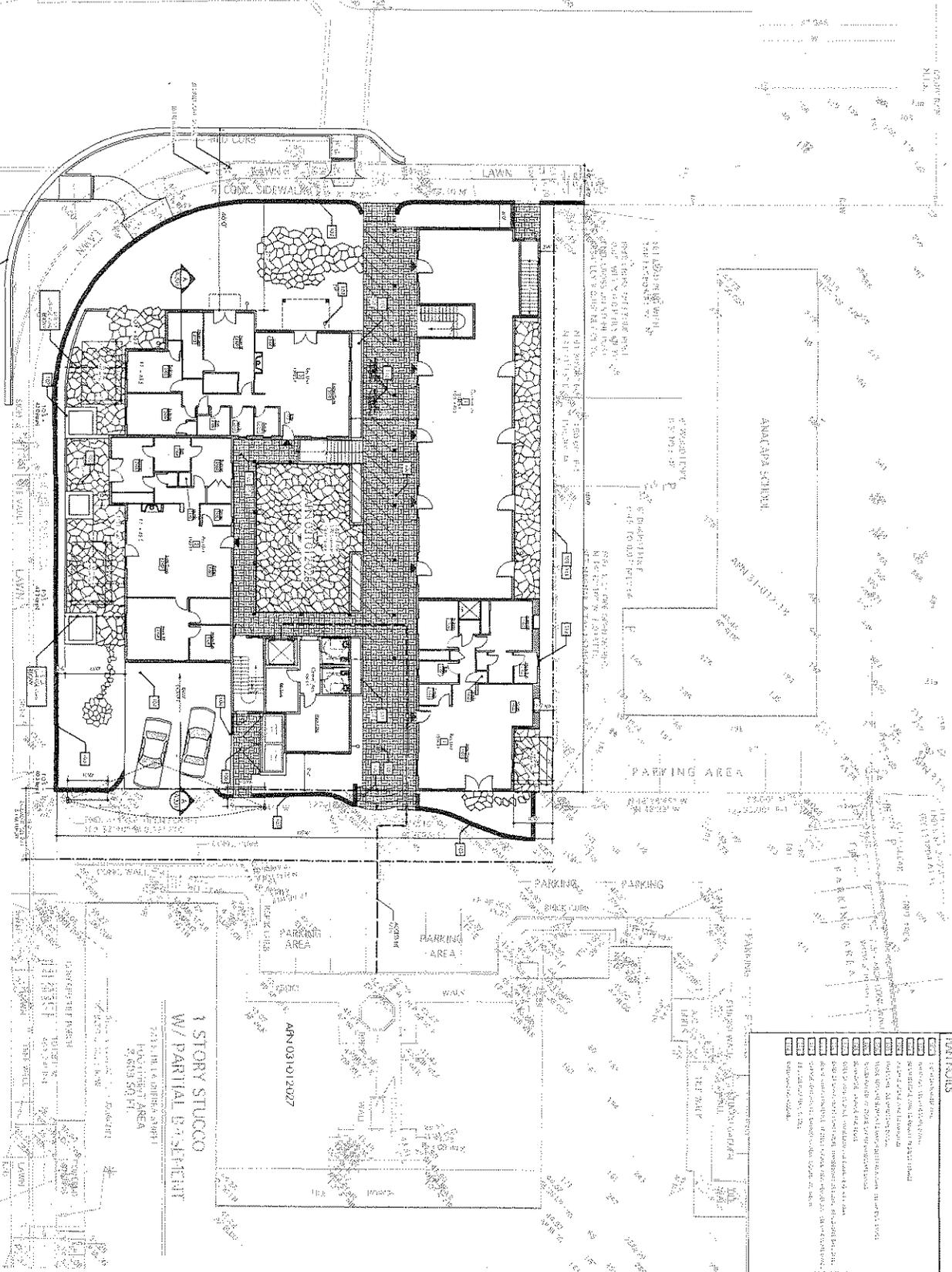
- A. Conditions of Approval
- B. Site Plan
- C. Applicant's letter dated February 6, 2008
- D. HLC Minutes
- E. Historic Structures Report dated August 2006
- F. Historic Structures Report Addendum dated March 7, 2007
- G. County of Santa Barbara Fire Department letter dated October 12, 2007
- H. Photo-Simulations
- I. ATE Traffic Report dated September 12, 2007
- J. Acoustical Analysis dated December 5, 2007.



Proposed Mixed Use Project For:
800 Santa Barbara Street

THE DEVELOPER'S NOTES	COULP ANALYSIS	REVENUE STATISTICS	SITE STATISTICS	DESIGNATORY APPLICATIONS REQUESTED	PROJECT SCOPE / DESCRIPTION																										
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Site / First Floor Plan



NOTES	
1	SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
2	SEE ARCHITECTURAL SPECIFICATIONS FOR LIGHTING FIXTURES AND SCHEDULES.
3	SEE ARCHITECTURAL SPECIFICATIONS FOR MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS.
4	SEE ARCHITECTURAL SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE AND IRRIGATION SYSTEMS.
5	SEE ARCHITECTURAL SPECIFICATIONS FOR SIGNAGE AND GRAPHIC DESIGN.
6	SEE ARCHITECTURAL SPECIFICATIONS FOR SECURITY AND ACCESS CONTROL SYSTEMS.
7	SEE ARCHITECTURAL SPECIFICATIONS FOR AUDIOVISUAL AND COMMUNICATIONS SYSTEMS.
8	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY MILLWORK AND CASEWORK.
9	SEE ARCHITECTURAL SPECIFICATIONS FOR FURNITURE AND FIXTURES.
10	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY GLASS AND GLAZING.
11	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY METALS AND FABRICATIONS.
12	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY PAINTS AND COATINGS.
13	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY WALLPAPER AND TEXTILES.
14	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY CEILING SYSTEMS.
15	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY FLOORING SYSTEMS.
16	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY DOORS AND WINDOWS.
17	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY STAIRS AND RAMP SYSTEMS.
18	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY ELEVATOR AND ESCAPE STAIR SYSTEMS.
19	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY VENTILATION AND EXHAUST SYSTEMS.
20	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY HEATING AND COOLING SYSTEMS.
21	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY WATER AND SEWER SYSTEMS.
22	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY GAS AND FUEL SYSTEMS.
23	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY TELEPHONE AND DATA SYSTEMS.
24	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY CABLE AND OPTICAL SYSTEMS.
25	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY POWER AND DISTRIBUTION SYSTEMS.
26	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY EARTHQUAKE PROTECTION SYSTEMS.
27	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY FIRE PROTECTION SYSTEMS.
28	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY SOUND AND VIBRATION CONTROL SYSTEMS.
29	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY AIR QUALITY CONTROL SYSTEMS.
30	SEE ARCHITECTURAL SPECIFICATIONS FOR SPECIALTY ENERGY EFFICIENCY SYSTEMS.

1 STORY STUCCO
W/ PARTIAL BASEMENT

APR 03/01/2027

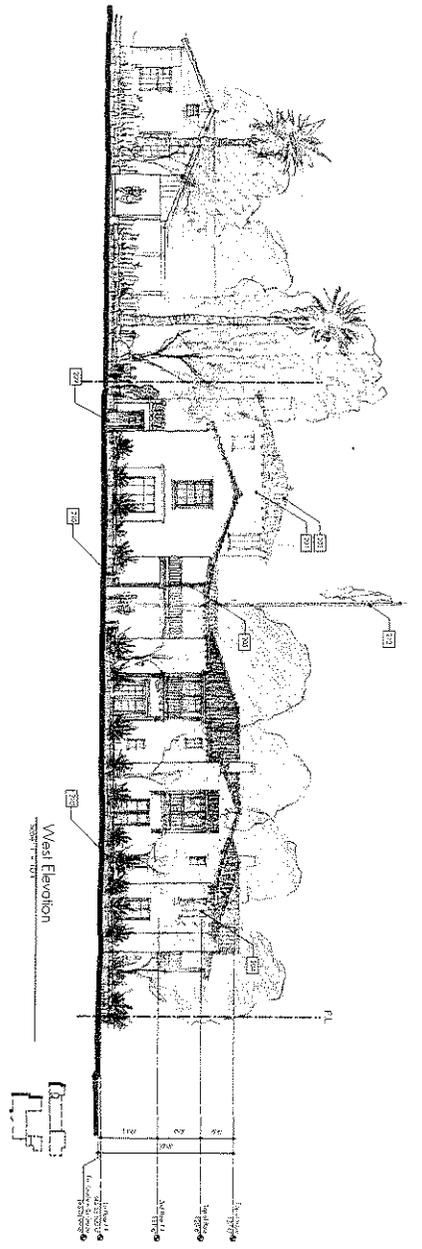
Proposed AlbeeLine project for
800 Santa Barbara Street LLC
800 Santa Barbara Street
Santa Barbara, CA 93101



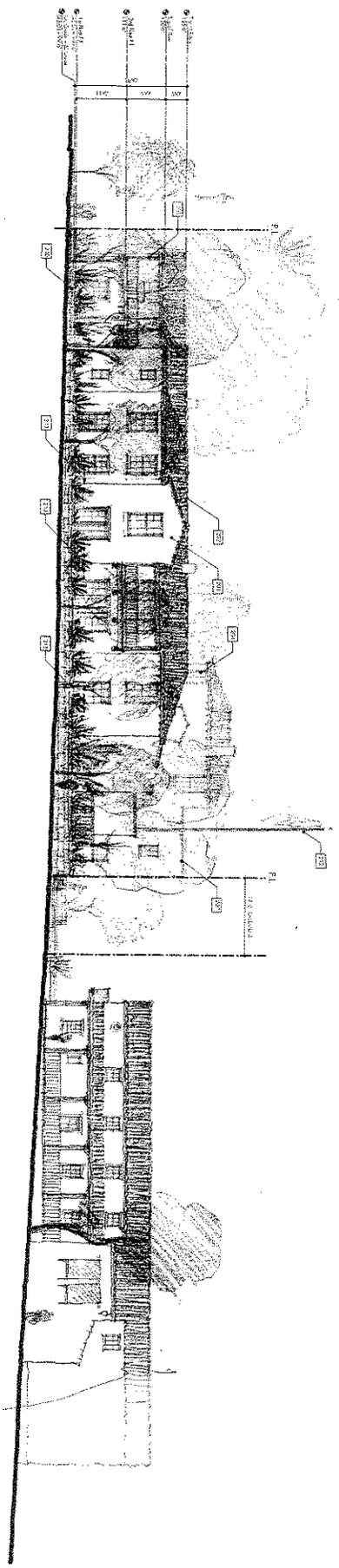
C E S T I A I
ARCHITECTS
1000 W. SANTA BARBARA STREET
SANTA BARBARA, CA 93101
TEL: 805.964.1111
WWW.CESTIAI.COM

A-101

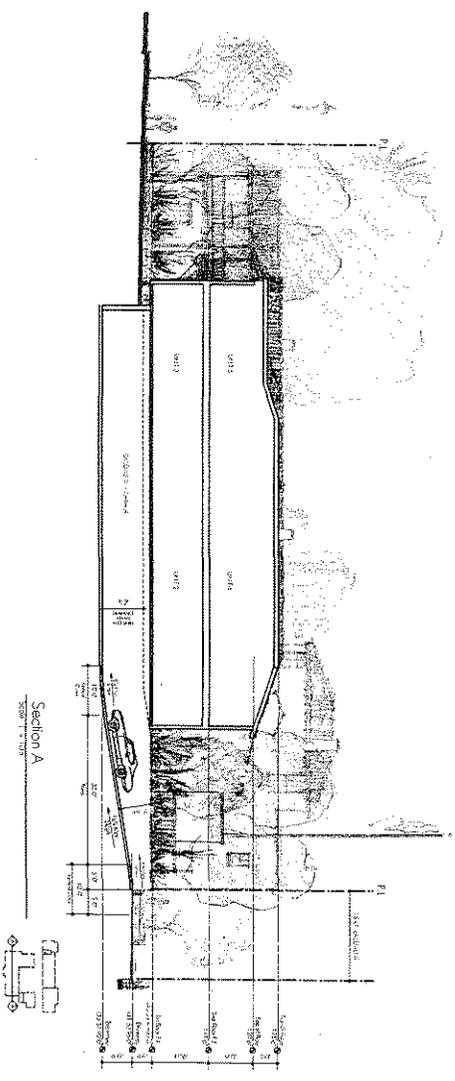
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50	REVISIONS TO PERMITTING



West Elevation



South Elevation

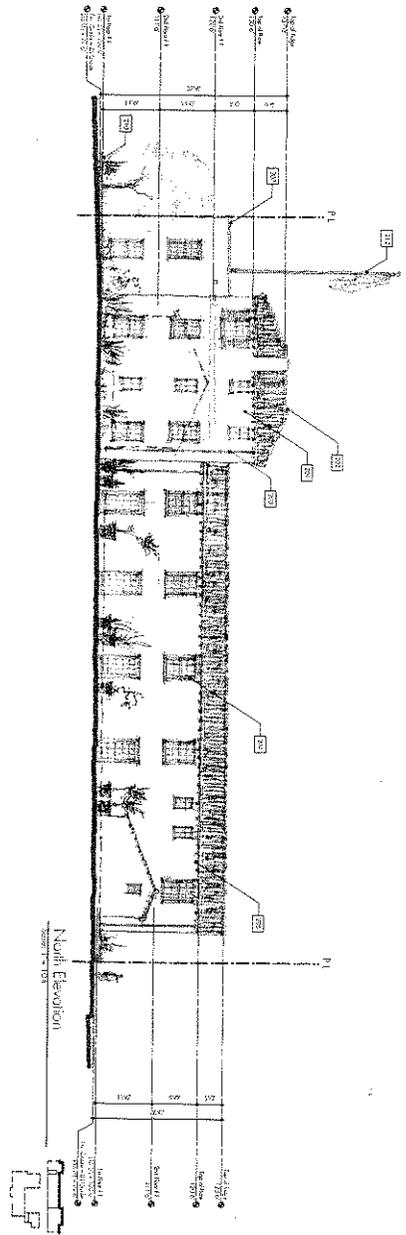


Section A

117
CEARNAT
ARCHITECTS
1177 N. MISSION ST.
SANTA BARBARA, CA 93101
TEL: 805.964.1177
WWW.CEARNAT.COM

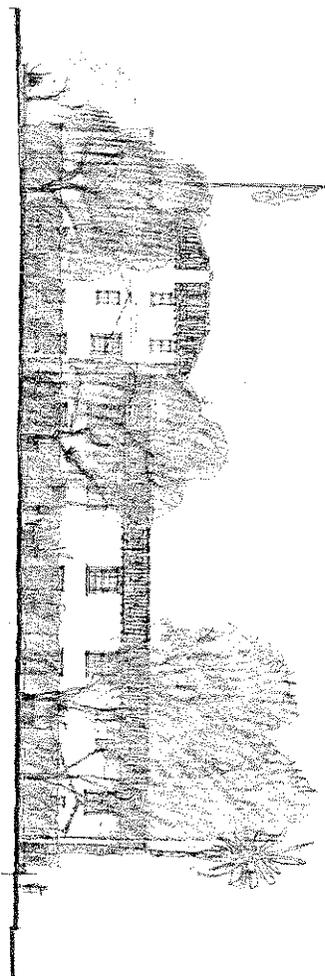
Proposed Mixed-Use project for:
800 Santa Barbara Street LLC
800 Santa Barbara Street
Santa Barbara, CA 93101

DATE: 12/15/2011
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

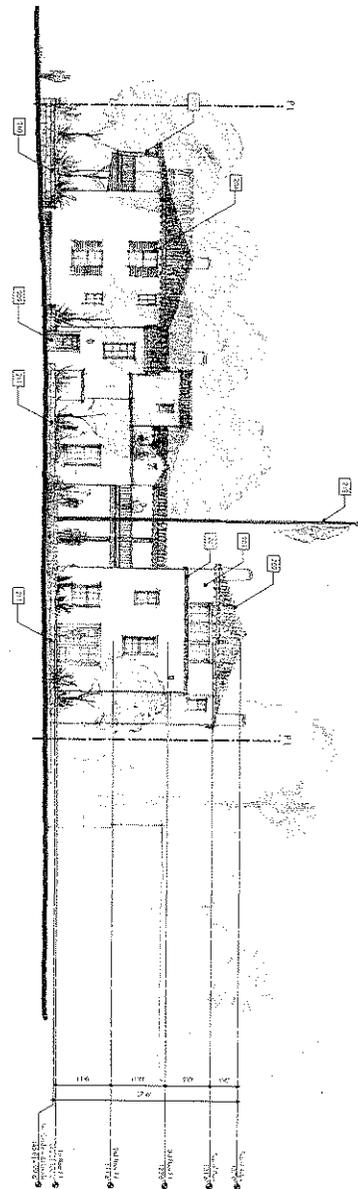


North Elevation

ELEVATION SCHEDULE NOTES	
1	Finish exterior walls as indicated on drawings.
2	Finish exterior walls as indicated on drawings.
3	Finish exterior walls as indicated on drawings.
4	Finish exterior walls as indicated on drawings.
5	Finish exterior walls as indicated on drawings.
6	Finish exterior walls as indicated on drawings.
7	Finish exterior walls as indicated on drawings.
8	Finish exterior walls as indicated on drawings.
9	Finish exterior walls as indicated on drawings.
10	Finish exterior walls as indicated on drawings.
11	Finish exterior walls as indicated on drawings.
12	Finish exterior walls as indicated on drawings.
13	Finish exterior walls as indicated on drawings.
14	Finish exterior walls as indicated on drawings.



North Elevation from Anacapa School w/ landscaping



East Elevation

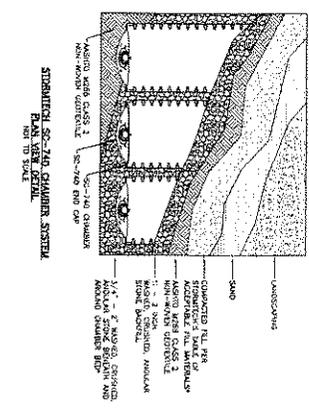
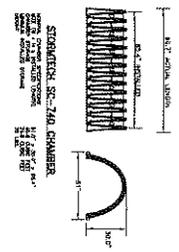
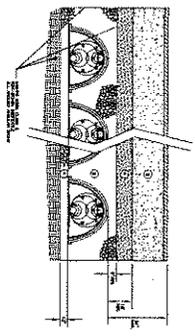
Proposed ~~Master~~ project for:
800 Santa Barbara Street LLC
 800 Santa Barbara Street
 Santa Barbara, CA 93101

CELANA
 ARCHITECTS
 1000 W. SANTA ANA STREET
 SANTA ANA, CA 92701
 TEL: 714.241.1111
 FAX: 714.241.1112

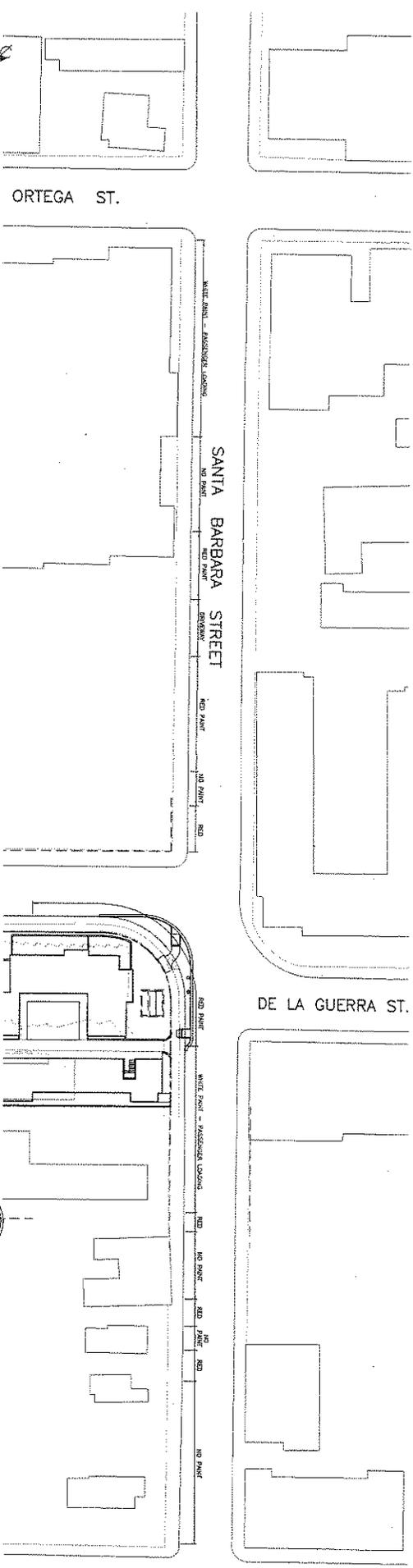
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NO.	A-202
PROJECT	800 Santa Barbara Street LLC
DATE	02/01/10
SCALE	AS SHOWN
DESIGNED BY	CELANA
CHECKED BY	CELANA
DATE	02/01/10
PROJECT	800 Santa Barbara Street LLC
DATE	02/01/10
SCALE	AS SHOWN
DESIGNED BY	CELANA
CHECKED BY	CELANA
DATE	02/01/10

ACCEPTABLE BALL BEARINGS
STORMTECH SC-710 CHAMBER SYSTEMS

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	NOTES
1	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
2	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
3	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
4	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
5	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
6	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
7	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
8	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
9	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION
10	SC-710 Chamber	1	EA	SEE PLAN FOR LOCATION



STORMTECH STORMWATER DETENTION/TREATMENT BASIN



NOTE: TRAFFIC STRIPING ON SANTA BARBARA STREET IS A DASHED WHITE LINE. THERE IS NO STRIPED BIKE LANE ON SANTA BARBARA STREET. LANE WIDTH IS 12'.



NO.	DATE	DESCRIPTION	BY	CHKD.
1	03/17/08	ISSUED FOR PERMITS	MM	MM
2	03/17/08	REVISED PER COMMENTS	MM	MM
3	03/17/08	REVISED PER COMMENTS	MM	MM
4	03/17/08	REVISED PER COMMENTS	MM	MM
5	03/17/08	REVISED PER COMMENTS	MM	MM
6	03/17/08	REVISED PER COMMENTS	MM	MM
7	03/17/08	REVISED PER COMMENTS	MM	MM
8	03/17/08	REVISED PER COMMENTS	MM	MM
9	03/17/08	REVISED PER COMMENTS	MM	MM
10	03/17/08	REVISED PER COMMENTS	MM	MM

M&C Design Associates
 800 SANTA BARBARA STREET
 SANTA BARBARA, CALIFORNIA 93101
 TEL: 805.965.1234 FAX: 805.965.1235
 WWW.MANDCDESIGN.COM
 DATE PLOTTED: 03/17/08 08:50:21 AM

SANTA BARBARA ST STRIPING
 EXISTING
 800 SANTA BARBARA STREET
 SANTA BARBARA, CALIFORNIA 93101
 SHEET
 TM4 OF 4
 C.S. CHIT FILE

6 February 2008

RECEIVED

FEB 06 2008

CITY OF SANTA BARBARA
PLANNING DIVISION

Honorable Planning Commissioners
City of Santa Barbara
630 Garden Street
Santa Barbara, CA 93101

**RE: 800 Santa Barbara Street (MST2006-00129)
Tentative Map- Six Residential Condominiums and Ten Commercial Condominium
Units**

Dear Planning Commissioners,

On behalf of 800 Santa Barbara Street LLC, property owner of 800 Santa Barbara Street, we are pleased to submit this project description/applicant letter for your review and consideration of the proposed mixed- use development located at the corner of De La Guerra and Santa Barbara Streets in the Central Business District.

Project Description

Existing Condition

The subject property contains an existing 2,111 square foot, single story office building located at 800 Santa Barbara St., APN 031-012-028, at the corner of De La Guerra and Santa Barbara Streets in the El Pueblo Viejo district of Santa Barbara. The site is zoned C-2 and the lot size is 18,586 square feet. The lot is virtually flat with an approximate slope of 4%. There are currently 22 parking spaces on site. There is an existing lease agreement that entitles 223 E. De La Guerra to utilize 13 of the 22 spaces located on 800 Santa Barbara Street.

Proposed Project

The project includes the demolition of the existing office building and the construction of a 14,747 square foot, 2 and 3-story mixed- use project. We are requesting Planning Commission approval of a Development Plan for 2,873 new commercial square feet (net) and a Tentative Subdivision Map to create six residential condominiums and ten commercial condominiums. There are twenty-seven parking spaces proposed in an underground parking structure. To protect historic resources and in the interest of sensitive site design, the sandstone wall along the perimeter of the site will be preserved as well as an existing flagpole at the east end of the walkway. The existing brick pathway will also be re-used in the proposed project preserving public pedestrian access through the site.

Please refer to Sheet A-000 for the project statistics summary.

The six residential units are a mix of 2-and 3-bedroom units and range in size from 1,316 square feet to 2,249 square feet. The ten proposed commercial units are approximately 400 square feet each and could ultimately be combined to provide varying unit sizes.

The residential and commercial units are configured around a central courtyard in two main buildings however, the units are connected structurally by the underlying garage. The commercial condominium units are located along the northern side of the property, adjacent to Anacapa School; a small portion of the commercial building will have frontage along Santa Barbara Street. There are five commercial units on the ground level and five proposed on the second story. The residential units are located along the southern and eastern sides of the site. The residential condominium Units 2, 3, 4 and 5 have street frontage along Santa Barbara and De la Guerra Streets and Units 1 and 6 are located in the northeast corner of the site.

The majority of the building is two stories, however; there is a three story element at the northeast corner of the property, furthest from the public streets. The maximum height of the proposed building is 37', well below the commercial zones' maximum building height of 60' per SBMC §28.66.050. We have provided visual simulations to show the proposed structure in relation to the existing setting. Similar to the proposed development, there are other two and three story commercial buildings within the block, including the adjacent building located at 223 E. De La Guerra and Antioch University on the corner of Garden and De La Guerra Street.

The applicant proposes to underground the parking spaces in the existing surface lot that is accessed from De La Guerra Street. The underground parking structure will require 3,830 cubic yards of excavation under the existing building footprint and this will be exported off-site.

The parking proposed is provided in accordance with SBMC§28.90.100.H.b of the City's Zoning Ordinance which requires one parking space per residential unit in the Central Business District and does not require guest parking. The project provides six private garages for each of the residential units. The commercial component of the project requires ten spaces at one space per 500 square feet. Eleven parking spaces are provided pursuant to an existing lease agreement with the adjacent property owner. In summary, there are a total of 28 spaces provided in the underground parking garage to accommodate the proposed project and the existing obligation to the adjacent property.

Every effort has been made to preserve the site's most significant landscape on the southwest corner of the site at the intersection of Santa Barbara and De La Guerra Street. Overall, the total landscaping will cover approximately 21.8% percent of the site. The private outdoor living space proposed for all of the residential units significantly exceeds the minimum requirement, particularly for Units 2, 3 and 6 where the private outdoor living space is 3-5 times the minimum requirement (refer to building statistics on Sheet A-000). The common open space is also significantly larger than the minimum requirement and provides over 5 times the minimum square footage required.

We have proposed a curb extension to improve sight visibility and pedestrian safety at the intersection of Santa Barbara and De La Guerra Streets, shown on the civil plans. The "bulb-out" design will shorten the pedestrian crossing on Santa Barbara Street and it will require vehicular traffic to make more of a 90 degree turn from De La Guerra Street to Santa Barbara Street. The revised angle of the intersection will result in improved sight visibility at the crosswalk on Santa Barbara Street. The modified right-of-way along Santa Barbara and De La Guerra Streets will be landscaped with trees and decomposed granite, consistent with the existing streetscape in front of and adjacent to the project site.

There is a total of 4,838 commercial square feet proposed in this project. We are requesting to use 2,873 square feet out of the minor and small additions categories in accordance with the SBMC §28.87.300.B.14. The remaining 1,965 square feet will be allocated from the demolition of the existing commercial office space on site.

Historic Landmarks Commission Review

The project has been reviewed by Historic Landmarks Commission (HLC) on several occasions, including review and approval of the Phase I Archaeological and Historic reports. The current design has received favorable comments as reflected in the minutes of their meeting on January 10, 2007 after a redesign of the northern buildings on the properties.

On October 4, 2006 the Historic Structures and Site report prepared by Alexandra Cole was reviewed and approved by the HLC with the condition that the second sentence of the second paragraph on page 16 should be changed to read "its presence as a larger-scale buildings may impact these historic buildings." The design was also reviewed at this meeting for the initial concept review and public hearing. Anacapa School expressed concern at this meeting regarding the residential units along the northern property line adversely affecting the School because the balconies would be overlooking the school yard. The comments from the HLC pertaining to the adjacent properties focused on reducing the mass, bulk and scale to provide a buffer. The project team took the Anacapa School's comments and the HLC's direction into consideration and significantly redesigned the site plan.

On November 15, 2006 the project returned to HLC for the second concept review. The Commission appreciated the redesign which incorporated small commercial units (instead of the previously proposed residential units) along the northern property line, adjacent to Anacapa School in order to avoid potential conflict between residential balconies and the adjacent school yard activities. The Commission also expressed appreciation that the project proposed to maintain the existing brick walkway and the axial layout of the site plan.

On January 10, 2007, the project was given positive comments and continued indefinitely to the Planning Commission. The Commission stated in the motion, "The Commission likes the project as a whole, in particular: a) how it addressed the corner; b) the landscape screen provided from the corner; c) how the project has been pulled back from Anacapa School, providing a landscape buffer; d) and the change of use from residential to commercial facing the school."

An addendum to the original Historic Report was prepared by Alexandra Cole to address the site plan revisions in accordance with HLC comments and was subsequently reviewed and approved at HLC on March 21, 2007.

Neighborhood Coordination

During the HLC design review process, the project team coordinated with Anacapa School in order to address their concerns about the site design and construction related impacts (for additional discussion regarding noise, refer to section below entitled, *Acoustical Analysis*). The design to place the commercial units along the northern property addressed the school's concern about the site design and potential impacts from the adjacent residential uses. In addition, we are willing to include a disclosure about the existing school noise in the CC&R's.

Environmental Reports

Visual Resources

In response to staff comments regarding preservation of important public view corridors in the project vicinity, photo simulations have been provided which demonstrate that these corridors will be maintained following project approval. The proposed structure is predominately two-story, with exception of a third story element located in the northeast corner of the property. The project was found to be in keeping with the character of the neighborhood as evidenced by the positive comments received from the Historic Landmarks Commission. Further, the project provides notable setbacks on both Santa Barbara and De la Guerra Streets along with substantial vegetation that is proposed to maintain the openness that currently exists on the corner.

Archaeological

The Phase I Archaeological Resources Report prepared by David Stone was accepted and approved by the HLC on February 7, 2007 with the condition that monitoring during grading activities shall be required. The condition has been incorporated into the recommended conditions of approval attached to the staff report.

Landscaping/Arborist Report

There are several existing non-native mature trees on site; these trees include a variety of Olive, Palms, Black Acacia, Mexican Fan Palms and Pepper trees. Peter Winn with Westree prepared an arborist report, dated July 2006 to assess the condition of the existing trees and the potential impacts of construction. He noted that the Blackwood Acacias are poorly structured and should be treated with caution. An updated report dated March 5, 2007 was prepared to address site design changes, including tree protection recommendations. The report concluded that the proposed trees to remain in place are young and in healthy condition so they should fair well during construction. A subsequent report dated August 17, 2007 further addressed staff concerns related to protection of trees on the adjacent property to the north as well as the relocation of project site trees. The arborist's recommendations on how to protect the trees to remain, including the City parkway trees, have been incorporated onto the landscape plans. Please

reference the Tree Removal and Protection Plan prepared by Peter Winn and Van Atta Associates, Inc. (sheet L1.0) to review the specific recommendations.

Acoustical Analysis

An Acoustical analysis was prepared by Veneklasen Associates to address potential noise impacts. The report concluded that the interior and exterior noise levels will be below the City threshold requirements contained in the General Plan Noise Element.

In order to minimize construction noise related impacts while Anacapa School is in session, the project description includes provisions to install noise control blankets with a minimum Sound Transmission Class (STC) rating of 25. The noise barrier is expected to reduce noise levels below 60 dBA, an acceptable ambient noise level. Further, compressors and other noise generating equipment including worker radios and sound equipment shall be kept away from the area of common property line with the school.

Trip Generation and Intersection Analysis

In response to staff concerns relative to a potential project impact to local intersections, a traffic analysis was prepared by Associated Transportation Engineers (ATE), dated September 12, 2007. The analysis determined when project generated vehicular trips were distributed to the area intersections they would continue to operate at acceptable Levels of Service (LOS A and B).

Hazardous Materials

In response to County of Santa Barbara Fire Department review of the proposed project and the possibility of potential site contamination with chlorinated solvents, the project description includes provisions for either of the following:

- Prior to site development, implementation of a soil vapor survey and human health risk assessment under the oversight of the County Fire Department; or
- An engineered control will be developed to prevent potential vapor intrusion into the structure using a method acceptable to County Fire and consistent with the Interim Final Guidance for the Evaluation and Mitigation of Subsurface Vapor Intrusion to Indoor Air.

Zoning Ordinance and General Plan Consistency

The subject property is zoned C-2, Commercial. This zone allows a variety of commercial uses in addition to residential uses. The proposed mixed-use development is consistent with the C-2 zone uses and development standards. The project application does not include zoning modification requests. Further, the proposed building footprint and overall height of the structure are not maximized and do not extend to the development limits allowed by code. For example, the proposed building at its highest point is 37.5 feet when 60 feet is allowed and the majority of the structure is setback from the property line (ranging from 13-27 feet) although no yard setbacks apply in a mixed-use development.

Land Use Element

The project site is located in the Laguna neighborhood as described in the City's General Plan Land Use Element, on the border between the Downtown and Laguna neighborhoods. The

Laguna neighborhood is characterized by both single and multiple residential units, and on the west side as it merges with into downtown, mixed residential and commercial uses appear.

Because the property borders on the Downtown neighborhood and is also located in the Central Business District (CDB), a brief discussion of these associated land use policies is warranted. One of the recommendations contained in the Land Use Element states that Downtown should be developed with a variety of businesses and services and that the importance of the area as a major office-administrative-financial-governmental activity should be recognized. Further, the Plan states the following, "It is critical that future growth in the CBD emphasize the further concentration, intensification, and more efficient use of the present core rather than by following the usual pattern of outward growth, increasing the amount of land and decreasing the efficiency and effectiveness of the uses within the area." The proposed project fulfills the stated goal of concentrating development at the core with the inherent result of limiting urban sprawl.

The subject property is also located in a neighborhood that is characterized by a multitude of historic structures – the Presidio, the De la Guerra Adobe, the historical museum. The El Pueblo Viejo Ordinance establishes architectural criteria to assure that new buildings and developments in the area will be architecturally harmonious with the old. The General Plan indicates that an additional way the City can strengthen its commercial, cultural, and governmental core is to encourage residential uses to be located downtown above the stores, shops, and offices in the CDB. Such a mix of commercial, governmental office, and residential activity would enhance and enliven Santa Barbara's downtown and would provide an interesting environment in which some people would like to live.

The proposed project is consistent with the goals and policies contained in the Land Use Element relative to development in the Downtown, the CBD, and in the Laguna neighborhood outlined above. The project provides additional commercial and residential use opportunities in a location deemed as the most efficient and effective use of land, concentrating development in the Downtown core where infrastructure and services are in place. Additionally, the Historic Landmarks Commission has reviewed the project and determined that the architectural design and building massing were in compliance with the standards established by ordinance and sensitive to the historic character of the surrounding neighborhood.

Housing Element

The proposed project can also be found consistent with the goals and policies contained in the City's Housing Element. The proposed residential units provide a mix of bedroom and size configurations to meet varying household needs. Policy 4.3 of the Housing Element states that the City shall focus development on infill sites and give priority to mixed-use development. The project will result in an infill development and redevelopment opportunity by replacing the existing commercial and parking uses efficiently due in part to the proposed underground parking configuration. The mixed-use component of the proposed project is desirable due to the proximity to the Downtown and the possibility of working and living within the same structure or in the immediate project area.

Circulation Element

The project includes many components that resonate with the goals and policies of the City's Circulation Element. For example, the intersection improvements proposed at the corner of Santa Barbara and De la Guerra Streets will create a much improved pedestrian experience with a wider parkway to buffer from vehicles, canopy trees to provide shade, reduction of vehicular speeds, and most importantly a safer pedestrian environment. Other project components that carry out Circulation Element goals include the retention of the brick walkway through the project site providing continued access from adjacent land uses and public rights-of-way.

The Circulation Element calls for land use decisions to encourage development that locate residential uses near areas of employment and services, to continue to implement zoning practices that encourage mixed use developments to improve pedestrian access and reduce automobile dependency. The project also affirms the Circulation Element Design Standards by placing the parking garage underground, by creating attractive and pleasing building facades that are oriented toward paseos, streets and sidewalks in place of a surface parking lot.

Discretionary Application Findings

Tentative Subdivision Map

The proposed project is consistent with the Zoning Ordinance and applicable General Plan policies as discussed above. The site is physically suitable for the proposed development, has received positive architectural and neighborhood compatibility comments from the Historic Landmarks Commission, and is consistent with the variable density provisions of the Municipal Code and the General Plan without resulting in environmental impacts.

New Condominium Development

The proposed project is in compliance with the provisions of the City's Condominium Ordinance, meets density requirements, and meets the physical standards for new condominium development. The project can be found consistent with General Plan policies including the Land Use, Housing, and Circulation Elements. The project provides residential units in an area where residential development is a permitted use, is adequately served by public streets and on-site parking. The design has been reviewed by the Historic Landmarks Commission, which found the architecture and site design appropriate to the neighborhood.

Development Plan

As previously stated, the project complies with all provisions of the Zoning Ordinance, will be in keeping with the neighborhood aesthetics relative to size, bulk, scale, and architectural design. The development can be adequately served by water resources and will not have a significant adverse impact on traffic.

Project Justification

The project has gone through several revisions pursuant to staff comments and as part of the design review process resulting in a proposal that is sensitive and compatible with the surrounding neighborhood's historic character. Visual simulations have been prepared to

Planning Commission Project Description letter
800 Santa Barbara Street (MST2006-00129)
6 February 2008
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demonstrate that the structure will be an enhancement to the area and that scenic resources have been protected.

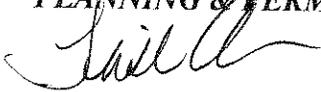
The project can be found to be consistent with the intent and purposes of applicable General Plan policies and the standards established in the Zoning Ordinance. As evidenced by the discussions and conclusions contained in the technical studies provided, the project will not result in a significant effect on the environment.

On behalf of the applicant project team, we thank you for your consideration of this project.

Sincerely,

SUZANNE ELLEDGE

PLANNING & PERMITTING SERVICES



Trish Allen, AICP
Associate Planner

HISTORIC LANDMARKS COMMISSION
MINUTES

Wednesday, October 4, 2006 David Gebhard Public Meeting Room: 630 Garden Street
1:30 P.M.

COMMISSION MEMBERS: PHILIP SUDING, Chair – Present, left from 3:41 P.M. to 3:52 P.M.

WILLIAM LA VOIE, Vice-Chair – Present
LOUISE BOUCHER – Present
STEVE HAUSZ – Present at 1:35 P.M.
VADIM HSU – Present at 1:42 P.M.
ALEX PUJO – Present at 1:33 P.M.
CAREN RAGER – Absent
FERMINA MURRAY – Present, left at 3:49 P.M.
SUSETTE NAYLOR – Present

ADVISORY MEMBER:

DR. MICHAEL GLASSOW – Absent

CITY COUNCIL LIAISON:

ROGER HORTON – Absent

PLANNING COMMISSION LIAISON:

WILLIAM MAHAN – Absent

STAFF: PAUL CASEY, Community Development Director – Present from 1:55 P.M. to 2:42 P.M.

BETTIE WEISS, City Planner – Present from 2:52 P.M. to 3:16 P.M.

JAIME LIMÓN, Design Review Supervisor – Present from 1:38 P.M. to 3:16 P.M.

JAKE JACOBUS, Urban Historian – Present until 5:43 P.M.

SUSAN GANTZ, Planning Technician II – Present

GABRIELA FELICIANO, Commission Secretary – Present

800 SANTA BARBARA ST

C-2 Zone

(3:25)

Assessor's Parcel Number: 031-012-028

Application Number: MST2006-00129

Owner: 800 Santa Barbara Street Investment Company

Applicant: Suzanne Elledge Planning and Permitting

(Proposal to demolish an existing 1,965 square foot office building and construct a three-story mixed-use project comprised of eight residential and two commercial condominium units on an 18,713 square foot parcel. Thirty underground parking spaces would be provided. Planning Commission approval will be required for a lot line adjustment of 1,529 square feet from adjacent parcel number 031-012-027 to meet residential density requirements.)

(PROJECT REQUIRES ENVIRONMENTAL ASSESSMENT AND PLANNING COMMISSION APPROVAL.)

Present: Mike Foley, Owner
Brian Cearnal, Architect
Susan McLaughlin, SEPPS
Susan Van Atta, Landscape Architect

Public comment opened at 3:37 p.m.

Mr. Eric Lassen, President of Anacapa School Board of Trustees, expressed concern that the proposed project does not consider the impact to the Anacapa School yard and that the setbacks are extraordinarily small with balconies overlooking the school yard.

Mr. Anthony Spann, Santa Barbara Trust for Historic Preservation (SBTHP), commented that the plans should show the alignment of De La Guerra Street across the west side of Santa Barbara Street and how it affects the property.

Mr. Jarrell Jackman, SBTHP, pointed out that the proposed condo project is within the boundaries of El Presidio de Santa Barbara and stated that the plan does not address the future Phase 3 reconstruction of the Presidio.

Mr. Kellam De Forest, resident, expressed concern that the proposed buildings will make the historic adobe columns, on the old neighborhood house building, even further obscured from public view than they are now.

Public comment closed at 3:46 p.m.

Straw votes: How many Commissioners would support an eight foot minimum setback? 6/1/0. (Naylor opposed.)

How many Commissioners would agree with a five foot setback? 5/2/0.

How many Commissioners would support a one-story building on the property line with the second-floor set back 10 feet? 7/0/0.

Motion: Continued two weeks with the following comments: 1) The observation is that this is a strongly contextural corner and at the heart of El Pueblo Viejo District. 2) Consideration needs to be made for the building's proximity to the possible future reconstruction and expansion of the Presidio in its context to a national state park. 3) The architecture is generally acceptable. 4) There should be a reduction in size, bulk, and scale with the aim to provide a buffer from the adjacent properties to the north and east. 5) Maximize any landscaping to the extent possible, with the inclusion of skyline trees. The courtyard should be given careful consideration, particularly to include significant landscaping. 6) Careful consideration should be given to outside areas, particularly those adjacent to public areas and sidewalks. 7) The Commission supports any reduction in public paving, including the bulb-out and the realignment of the corner, and would hope that would result in the realignment of any paving to the benefit of landscaping.

Action: Suding/Naylor, 7/0/0. (Murray/Rager absent.)

**HISTORIC LANDMARKS COMMISSION
MINUTES**

Wednesday, November 15, 2006 David Gebhard Public Meeting Room: 630 Garden Street
1:30 P.M.

COMMISSION MEMBERS: PHILIP SUDING, Chair – Present
WILLIAM LA VOIE, Vice-Chair – Present
LOUISE BOUCHER – Present until 7:29 p.m.
STEVE HAUSZ – Present
VADIM HSU – Present from 1:36 p.m. to 4:05 p.m.
and 4:49 p.m. to 5:38 p.m.
ALEX PUJO – Present
CAREN RAGER – Present
FERMINA MURRAY – Present
SUSETTE NAYLOR – Present

ADVISORY MEMBER: DR. MICHAEL GLASSOW – Absent

CITY COUNCIL LIAISON: ROGER HORTON – Absent

PLANNING COMMISSION LIAISON: WILLIAM MAHAN – Absent

STAFF: BETTIE WEISS, CITY PLANNER – Present from 1:33 p.m. to 1:38 p.m.
JAN HUBBELL, SENIOR PLANNER – Present from 2:09 p.m. to 2:41 p.m.
JAIME LIMÓN, Design Review Supervisor – Present until 2:13 p.m.
JAKE JACOBUS, Urban Historian – Present until 6:18 p.m.
DEBRA ANDALORO, Project Planner – Present from 1:39 p.m. to 2:09 p.m.
SUSAN GANTZ, Planning Technician II – Present
GABRIELA FELICIANO, Commission Secretary – Present

800 SANTA BARBARA ST C-2 Zone

(4:48) Assessor's Parcel Number: 031-012-028
Application Number: MST2006-00129
Owner: 800 Santa Barbara Street Investment Company
Applicant: Suzanne Elledge Planning and Permitting Services
Architect: Cearnal Andrulaitis Architects
Landscape Architect: Van Atta & Associates

(Proposal to demolish an existing 1,965 square foot office building and construct a three-story mixed-use project comprised of eight residential and two commercial condominium units on an 18,713 square foot parcel. Thirty underground parking spaces would be provided. Planning Commission approval will be required for a lot line adjustment of 1,529 square feet from adjacent parcel number 031-012-027 to meet residential density requirements.)

(Second Concept Review.)

(COMMENTS ONLY; PROJECT REQUIRES ENVIRONMENTAL ASSESSMENT AND PLANNING COMMISSION APPROVAL.)

Present: Brian Cearnal, Architect
Suzanne Elledge, SEPPS
Alexandra Cole, Architectural Historian

Public comment opened at 4:56 p.m.

Mr. Kellam De Forest, local resident, commented that it is important that the view line from Santa Barbara Street to the fountain and the old neighborhood house with its historic adobe columns be retained. He requested that the pathway be as wide as possible and commented that there should be a straight-view into the pathway and adobe.

Ms. Mary Louise Days, local resident, commented that this is one of the most historic neighborhoods in downtown Santa Barbara and that there is no necessity for a three-story portion and suggested that a second story be given a great deal of thought. Also commented that a six foot setback on the street frontage is not appropriate and should be much higher.

Mr. Jarrell Jackman, Santa Barbara Trust for Historic Preservation, provided a rendering that shows the City and State approved area that will eventually be reconstructed for the Presidio. The drawing also indicates how the restored Presidio is to look when approached from Santa Barbara Street and he expressed concern about this project affecting that view.

Mr. Gordon Sichi, Head Master of Anacapa School, commented on two issues that may affect the school: 1) nuisance complaints from the adjacent residents due to the student noise; and 2) student safety during the building process.

Mr. Eric Lassen, Anacapa School Board of Trustees, expressed appreciation for the improvements that the applicant has made to the plans.

Public comment closed at 5:01 p.m.

Straw votes: How many Commissioners could support the throat as presented?
6/3/0.

How many Commissioners could support a third-story element?
5/4/0.

Motion: Continued four weeks with the following comments: 1) The current proposal shows much improvement over the last presentation. 2) The axial layout is appreciated and appropriate; however, some of the Commissioners feel that the narrowest part of the throat on the central axis should be opened up. 3) The Commission appreciates the input from the users of the existing site. 4) At least one Commissioner felt the bridge may be problematic. 5) At least three Commissioners would request a larger than six foot setback on the northwest corner. 6) The applicant should provide a photomontage of a third-story element.

Action: La Voie/Hausz, 9/0/0. Motion carried.

**HISTORIC LANDMARKS COMMISSION
MINUTES**

**Wednesday, January 10, 2007 David Gebhard Public Meeting Room: 630 Garden Street
1:30 P.M.**

COMMISSION MEMBERS: WILLIAM LA VOIE, *Chair* – Present until 5:01 p.m.; and at 5:04 p.m.

ALEX PUJO, *Vice-Chair* – Present

ROBERT ADAMS – Present

LOUISE BOUCHER – Present

STEVE HAUSZ – Present from 1:35 p.m. to 4:22 p.m.; and at 4:27 p.m.

FERMINA MURRAY – Present

SUSETTE NAYLOR – Present until 6:26 p.m.

DONALD SHARPE – Present

ADVISORY MEMBER:

DR. MICHAEL GLASSOW – Absent

CITY COUNCIL LIAISON

ROGER HORTON – Absent

PLANNING COMMISSION LIAISON: STELLA LARSON – Present until 6:02 p.m.

STAFF: JAIME LIMÓN, Design Review Supervisor – Absent

JAN HUBBELL, Senior Planner – Present 3:39 p.m. to 4:22 p.m.

JAKE JACOBUS, Urban Historian – Present

SUSAN GANTZ, Planning Technician II – Present

GABRIELA FELICIANO, Commission Secretary – Present

800 SANTA BARBARA ST

C-2 Zone

(4:22) Assessor's Parcel Number: 031-012-028

Application Number: MST2006-00129

Owner: 800 Santa Barbara Street Investment Company

Applicant: Suzanne Elledge Planning and Permitting Services

Architect: Cearnal Andrulaitis Architects

Landscape Architect: Van Atta & Associates

(Proposal to demolish an existing 1,965 square foot office building and construct a three-story mixed-use project comprised of eight residential and two commercial condominium units on an 18,713 square foot parcel. Thirty underground parking spaces would be provided. Planning Commission approval will be required for a lot line adjustment of 1,529 square feet from adjacent parcel number 031-012-027 to meet residential density requirements.)

(Third Concept Review.)

(COMMENTS ONLY; PROJECT REQUIRES ENVIRONMENTAL ASSESSMENT AND PLANNING COMMISSION APPROVAL.)

Present: Susan Van Atta, Landscape Architect

Brian Cearnal and Craig Shallenberger, Cearnal Andrulaitis Architects

Public comment opened at 4:37 p.m.

Gordon Sichi, Anacapa School Head of Faculty, expressed appreciation that the project changed the use along the school site that may prevent noise complaints from future residents. He stated that the school continues to be concerned about safety issues, access to the school's parking, and non-interruption of the school's activities during the construction process.

Kellam De Forest, resident, commented that retaining the paseo and its view-line, and the landscaping on the corner of Santa Barbara and De La Guerra Streets is appreciated. He asked about the use of black acacia. He also inquired about the proposed setback on Santa Barbara Street. Mr. La Voie responded that the Commission has extensively discussed the setback from Santa Barbara Street and the proposal has been revised accordingly.

Public comment closed at 4:40 p.m.

Straw vote: How many Commissioners can support a wall in back of the sandstone wall of a height approximately five feet higher than the sidewalk elevation and separated from the sandstone wall by agaves? 6/2/0.

Motion: **Continued indefinitely and the Commission forwards the project to the Planning Commission with positive comments:**
1) The Commission likes the project as a whole, in particular: **a)** how it addresses the corner; **b)** the landscape screen provided from the corner; **c)** how the project has been pulled back from Anacapa School, providing a landscape buffer; **d)** and the change of use from residential to commercial facing the school. 2) Areas that need additional attention are: **a)** the bridge, with the recommendation that it not be roofed; and **b)** that the plate heights be lowered to the extent possible so that the building accurately mimics the Monterey style. 3) Further recommendations: **a)** the reuse of the existing brick paving; and **b)** keep the paving simple and rustic so that it is more in keeping with the Monterey style.

Action: Boucher/Hausz, 8/0/0. Motion carried.

HLC 10/4/06

HLC F.B. 10/4/06 Approved w/ Conditions

HISTORIC STRUCTURES/SITES REPORT
800 SANTA BARBARA STREET
SANTA BARBARA, CALIFORNIA
APN: 031-012-028

p. 16 - Replace "will not" with may

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CITY OF SANTA BARBARA
PLANNING DIVISION

FINAL

Prepared for
Thomas G. Foley
Santa Barbara, CA 93105
(805)

Prepared by
Alexandra C. Cole
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519 Fig Avenue
Santa Barbara, California 93101
(805) 969-4183; Accole5@cs.com

August 2006

EXHIBIT E

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**HISTORIC STRUCTURES/SITES REPORT
800 SANTA BARBARA STREET
SANTA BARBARA, CALIFORNIA
APN 031-012-028**

1. INTRODUCTION

The following Historic Structures/Sites Report for 800 Santa Barbara Street was requested by the owner, Tom Foley, and Suzanne Elledge, because the building is older than 50 years and is adjacent to a potential City Structure of Merit, the former Neighborhood House at 223 East De La Guerra Street. This study was conducted to analyze the potential effects of the project upon the building (see Figure 1 for vicinity map and Appendix for architectural drawings). The report meets the Master Environmental Assessment requirements for a Historical Study. Alexandra C. Cole of Preservation Planning Associates prepared the report.

2. PROJECT DESCRIPTION

The proposed project involves demolishing the existing 1,965 square foot one-story office building at 800 Santa Barbara Street and constructing a mixed use project with eight residential condominiums, totaling 15,997 square feet, two commercial condominiums, totaling 22,281 square feet, and a 30-space underground parking structure, totaling 14,560 square feet, opening off the De La Guerra Street existing driveway. The condominiums are configured around a central courtyard in two main buildings. The majority of the project is two stories, with a three-story element at the northeast corner of the property. The existing flagpole will be relocated to the adjacent property at 223 East De La Guerra Street. The conceptual elevations, prepared by Cearnal Andrulaitis LLC and dated August 10, 2006 (Sheets A0.0, A1.1, A2.1), were reviewed for this report and are appended.

3. DOCUMENTS REVIEW

The following sources within the *City of Santa Barbara Master Environmental Assessment Guidelines for Archaeological Resources and Historic Structures and Sites* (January 2002) were consulted to see if the building had already been declared an historic resource: "Designated Historic Structures/Sites" (Appendix B) and "City of Santa Barbara Potential Historic Structures/Sites List" (Appendix C). The building was not listed as a City Structure of Merit or Landmark. However, during an architectural survey carried out in 1978, the adjacent Neighborhood House, then also at the address 800 Santa Barbara Street (now 223 East De La Guerra Street after a lot split in 1997) was declared eligible for the California Register of Historic Resources as the work of Soule, Murphy and Hastings (Belsher: 1978).

4. SITE HISTORY

The land comprising present-day Santa Barbara originally was the home of the Barbareño Chumash, who settled along the coast from Carpinteria to Goleta. A Chumash village, Syukhtun was located along Cabrillo Boulevard and a second, Taynayan, inland near Pedregosa (Mission) Creek on the upper East side. When Spain began to colonize California with

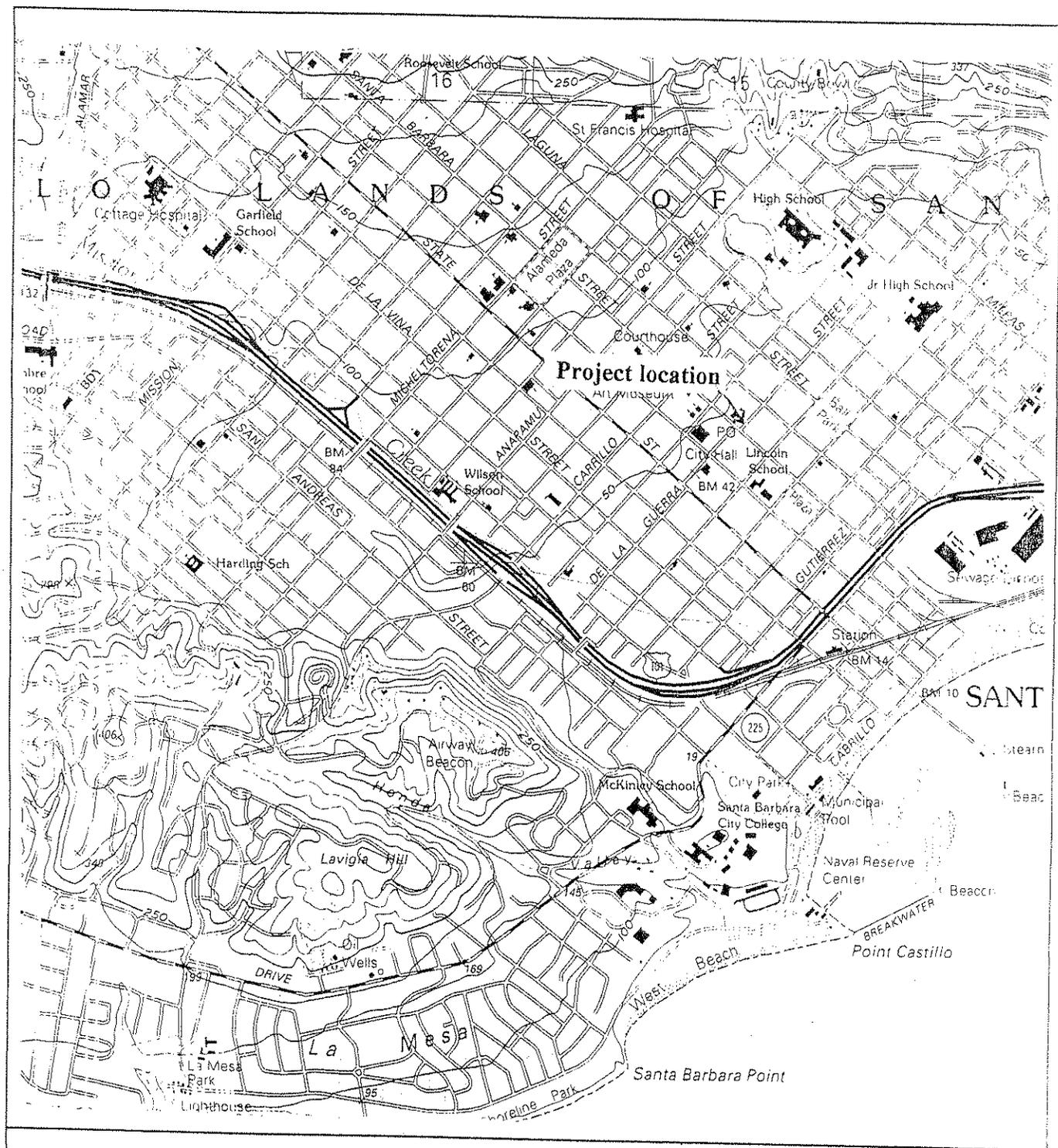


Figure 1
 Vicinity Map
 U.S.G.S. Map Santa Barbara Quadrangle, 1995

missions and pueblos, this land was claimed by King Carlos of Spain and then granted to the Franciscan fathers when the Presidio and Mission were founded in Santa Barbara between 1782-1786. The area became part of the Pueblo lands of Santa Barbara to be used by the Mission and the Presidio.

When Mexico became independent from Spain in 1822, it secularized the missions and sold off their lands in an attempt to break the Spanish hold in California. When California became a state in 1850, the newly-established City of Santa Barbara inherited the Pueblo lands and hired Captain Salisbury Haley to survey the town, laying upon the former winding streets of the pueblo an American grid pattern composed of blocks, streets, and parks. A three-member committee consisting of Eugene Lies, Antonio Maria De la Guerra and Joaquin Carrillo was appointed by the mayor and Common Council to name the new streets created by the Haley survey. Because two of the members of this committee were Californios, many of the street names referred to names of early explorers, settlers, or events related to the history of Santa Barbara from its inception in 1782 until the survey in 1851.

The land where the building at 800 Santa Barbara Street is now located lies in Block 172 of the City, as laid out by the Haley survey, bounded by Santa Barbara, East De La Guerra, Garden, and East Canon Perdido Streets. Santa Barbara Street was named in honor of the patron saint of the City, De la Guerra Street for Jose De La Guerra, fifth Comandante of the Presidio, Garden Street which passes through the de la Guerra/Presidio gardens which were located at Cota and Ortega Streets, and Canon Perdido for a Presidio cannon lost in 1858 (Days 1986: 193-5).

Although the streets were nicely laid out in the Wackenreuder Map of 1853 which codified the Haley Survey, in actuality the town was little developed at this time. In fact, De la Guerra Street had to be laid out with a jog between Santa Barbara and Garden Streets because of the location of an adobe in the street near the Garden Street intersection (Wackenreuder Map of 1853). The 1870s became a time of great growth and change in downtown Santa Barbara. This change was fueled in part by the advertising of journalist Charles Nordhoff, working for the *New York Tribune*, who visited Santa Barbara in 1872 and then wrote *California - A Book for Travelers and Settlers*, which introduced the benefits of the Santa Barbara climate. As well the construction of Stearns Wharf, with its ability to handle both passenger ships and freighters, enabled redwood to be shipped cheaply from northern California to provide building materials for new houses, which were modeled on eastern and Midwestern architectural styles, such as Italianate, Eastlake and Queen Anne, rather than the earlier Hispanic adobe houses. The population of Santa Barbara rapidly expanded, as Anglos settled and developed the downtown State Street area, from Gutierrez to De la Guerra Streets, with brick commercial buildings housing all the services a fledgling town needed, such as hotels, restaurants, grocery stores, billiard parlors, saloons, variety stores, livery stables, dry goods shops, millinery shops, a post office, liquor stores, drug stores, butcher shops, barber shops, cigar stores, and lumber yards.

The 1853 Wackenreuder Map shows the subject property with the Teodoro Arrellanes adobe on it, which was built in 1795 (see Figure 2). Arrellanes was the owner of the Guadalupe Ranch as well as parts of Santa Maria. This adobe was well-situated, just outside the Presidio grounds as well as being close to the De la Guerra gardens. The 1870 and 1878 Maps of the Town of Santa Barbara show block 172 with the Arrellanes adobe and a large field in front of it along Santa Barbara Street.

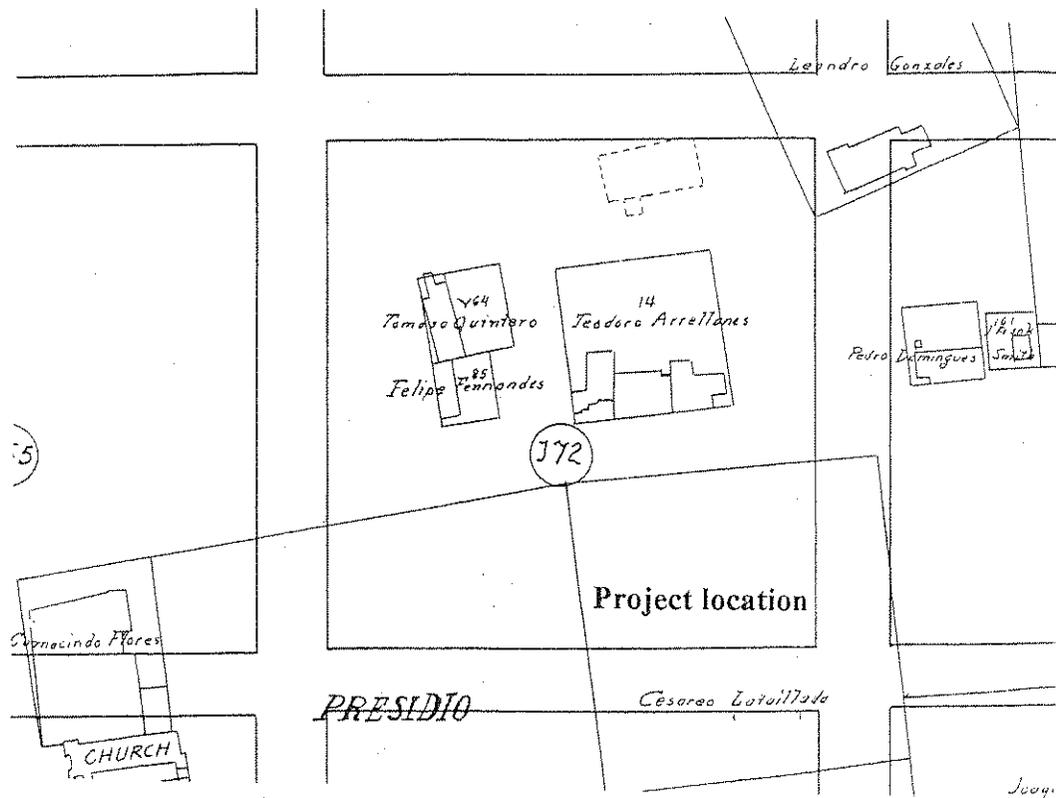


Figure 2. Wackenreuder Map No. 2 1853

Over the years a number of additions of wood were made to the rear and south side of the adobe. By 1893, the imposing Queen Anne Sloyd School had been built on a portion of the front yard facing Santa Barbara Street (see Figure 3). Upon Teodoro Arrellanes' death, a one-half interest in the adobe went to his son Luis and the other one-half interest to his daughter Maria Ignacia Elizalde, who in turn willed her portion to her son Julius J. Elizalde.

In 1910, the widows of Luis Arellanes and Julius Elizalde sold the house to the Associated Charities of Santa Barbara County. This organization was formed in 1899 in Santa Barbara in response to the Depression of 1890 which found many families, including many immigrants, out of work and in need of food, clothing and a place to live. A group of Santa Barbara citizens organized to help these families once again become self-sufficient, and this group became the County's first organized social service agency (Leone 1999: 25).

Their first office was at 720 Anacapa Street, which they soon outgrew. The purchase of the adobe gave them a facility adequate for their developing programs. They added two wings, one housing the Industrial Department activities and the other housing the agency's thrift store. At the same time, during the remodel, they replaced the original porch posts with decorative posts from the inner porch of the Aguirre adobe on Carrillo Street, which had been salvaged from a pile of discarded lumber at the rear of the Aguirre adobe property (Cullimore 1945: 15).

Shortly afterwards, The Neighborhood House Association of Santa Barbara moved into the adobe as well. Their purpose was to prevent juvenile delinquency by offering a number of varied activities to the local youth. Their portion of the adobe was remodeled to be a club house

for the boys and girls of the neighborhood, providing such amenities as meeting rooms, a library, a loom-room, kitchen, classroom for girls, an assembly and game room, reception room, and an outdoor gym with tennis and basketball courts. Later a bandstand and a dancing platform were added to the grounds. Margaret Baylor established a recreational program there (Leone 1999: 27; "Directors of the Neighborhood House Association", March 23, 1910).

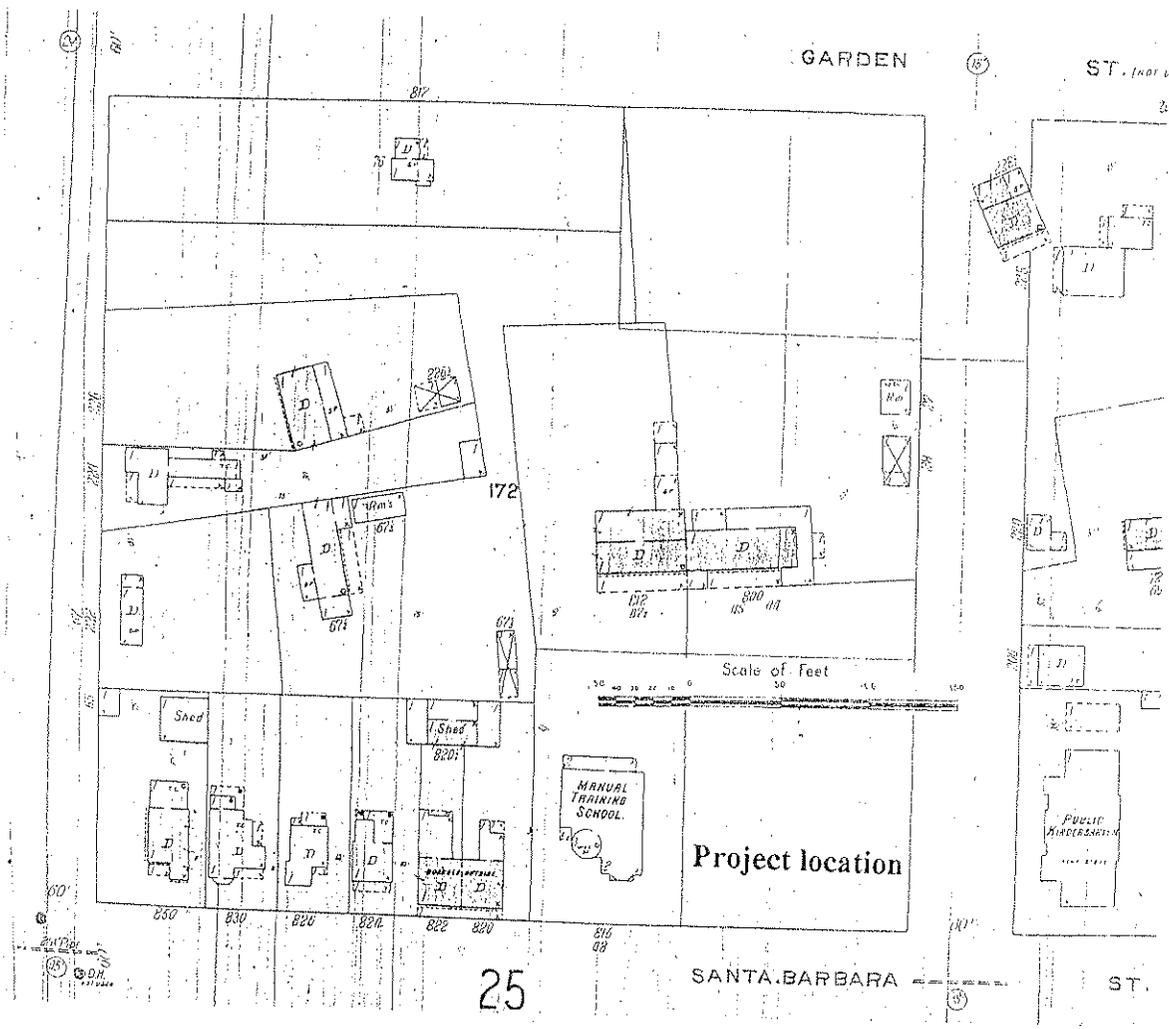


Figure 3. 1907 Sanborn Map

5. ARCHITECTURAL AND SOCIAL HISTORY

The remodeled adobe was badly damaged in the 1925 earthquake and subsequently razed. In 1927, John Murphy of Soule, Hastings and Murphy built a new much larger building on the property, further east and south than the original adobe. Its central linear portion is reminiscent of the original adobe, and once again the Aguirre porch columns were reused (City Building Permit A-2461, dated March 23, 1927). Alexander MacKellar was the contractor (see Figure 4.

Sanborn Map of 1930). At the same time, a new garage and carpentry shop building was constructed at the rear of the lot behind the new building (City Permit A-3641, dated December 2, 1927). Very probably at this time the sandstone retaining wall was added along De La Guerra and Santa Barbara Streets, for the 1930 Sanborn Map shows the corner of the parcel rounded, Whereas earlier maps show a right-angle corner.

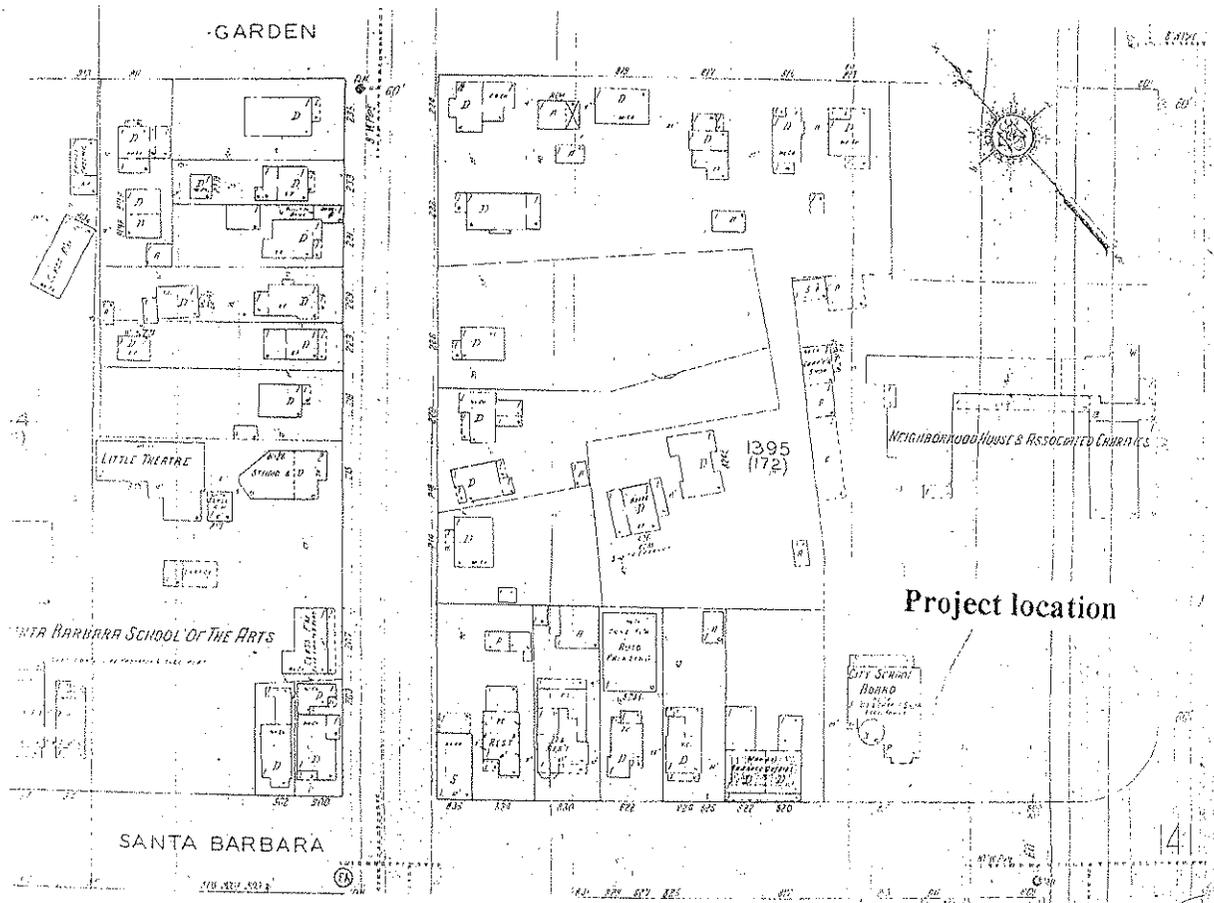


Figure 4. 1930 Sanborn Map

In 1938, Associated Charities officially renamed itself Neighborhood House to reflect the change in its goal from meeting individual family's needs to organizing group work to serve children with activities such as fine arts, theater, story hour, music, sports, and camping trips, as well as Mother-Child workshops. During these years, into the 1940s, Neighborhood House was also becoming the welfare service center for Santa Barbara. In 1948, to further this aim of uniting services under one roof, Neighborhood House built an office building (the subject building) at the front of the property to house the Community Chest (later the United Way). As well it rented rooms in the building at a reduced rate for other social service organizations (Leone 1999: 35, 39).

The contractor for the building, and presumably the designer as well, as no architect or engineer is listed on the building permit, was Harold John Vaile (City Building Permit D-1945, dated December 15, 1948). The address has been variously listed as 201 or 205 East De La Guerra Street, and 802 or 806 Santa Barbara Street. Over the next almost thirty-five years, the building

Street, and 802 or 806 Santa Barbara Street. Over the next almost thirty-five years, the building was used for the Community Chest, Social Service exchange, volunteer Bureau, Associated In-Group Donors, Memorial Rehabilitation Foundation, and the Freedom Community Clinic.

In 1953, Neighborhood House again changed its outreach focus, from group work to family service, and as well changed its name to the Family Service Agency. In 1981, in need of funds, the Family Service Agency sold the property to Barry Berkus and it as well as the United Way moved out of the buildings. Since 1981, a number of businesses have rented 800 Santa Barbara Street, the most recent being Suzanne Elledge Permit and Planning Services.

Barry Berkus owned the buildings as De La Guerra Court Investments from 1981 until 1996, at which time Thomas G. Foley of FBK Investments LLC bought them. In 1997, a lot split codified the address of the subject building as 800 Santa Barbara Street and the former 800 as 223 East Canon Perdido Street. In 2006, 800 Santa Barbara Street LLC is listed as the owner of the property.

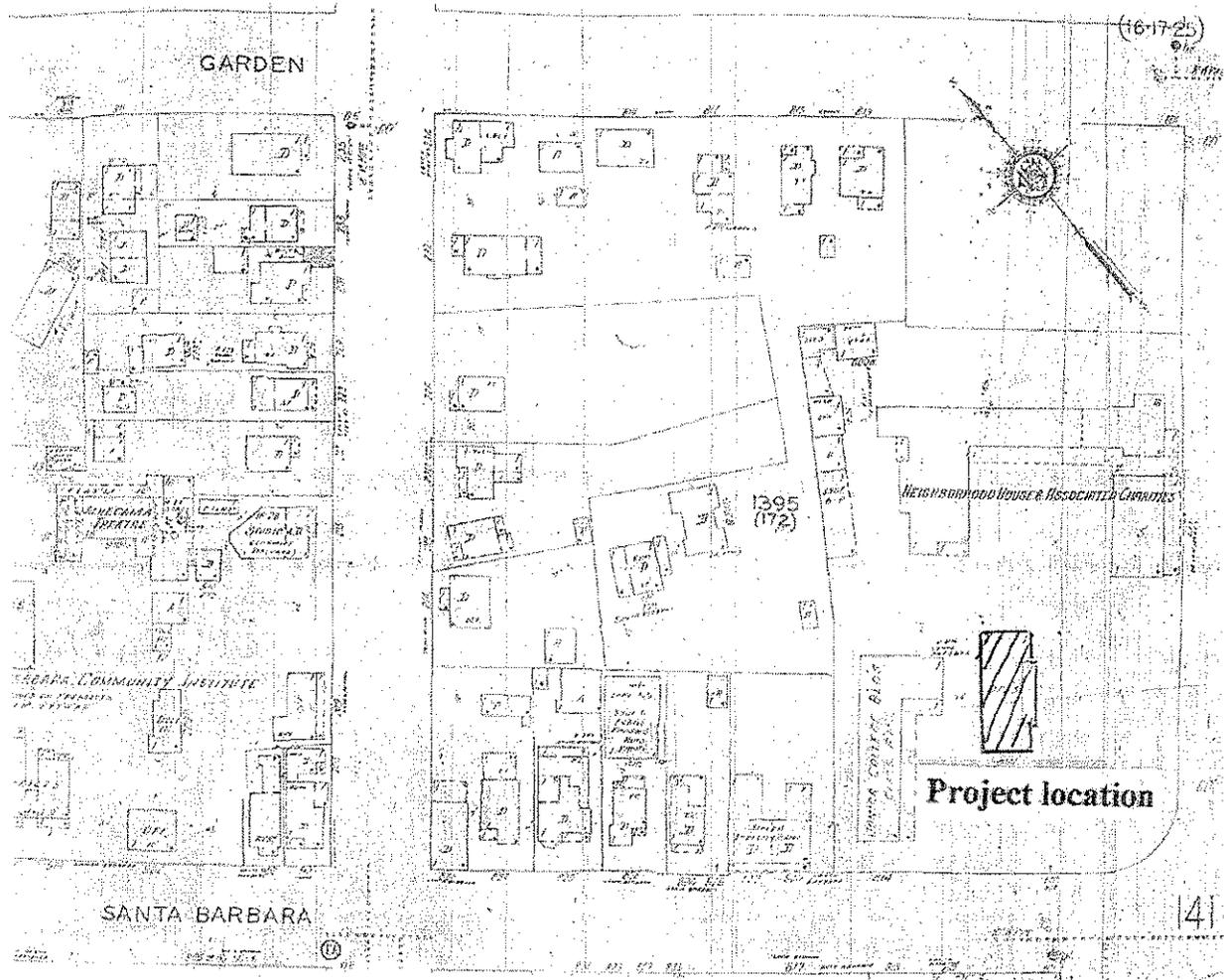


Figure 5. Detail showing new office building. 1930 corrected to 1950 Sanborn Map

6. FIELD INVENTORY

Setting

The one-story office building is rectangular, and oriented east/west, with the short side facing Santa Barbara Street and the long side facing De La Guerra Street. It is surrounded on the east and south by parking, and on the west by lawn and mature trees, such as black acacia, palm, olive, pittosporum, jacaranda, and pepper. To the north, separated by a wood fence, is the Anacapa School building, to the east is the large office building at 223 East De La Guerra Street, to the south is De la Guerra Street, and to the west is Santa Barbara Street.

A red brick path leads from the sidewalk at Santa Barbara Street past the front of the building, to 223 East De La Guerra Street. The building sits higher on the lot than that at 223 East De La Guerra Street, and is surrounded on the east side by a sandstone retaining wall. Another low sandstone retaining wall runs along the perimeter of the property on Santa Barbara and East De La Guerra Streets; this wall very probably was added when Neighborhood House was constructed in 1927. A flagpole, made from the mast of a ship, is located on the brick path near the steps leading down to 223 E. De La Guerra Street, and possibly came from the Aguirre adobe (Tompkins 1972).

This property lies very near the heart of historic Santa Barbara, a stone's throw from the Presidio's outer defense wall. Down De La Guerra Street from the property towards State Street are the Casa De La Guerra, the Plaza De La Guerra, the Orena adobes, the Orena store, the El Presidio building which encapsulates an old adobe, Presidio Avenue, the oldest street in Santa Barbara, the Santiago De La Guerra adobe, and the Lugo adobe, incorporated into the Meridian studios. All of these are either City Landmarks or potential historic structures. Across De La Guerra Street is the Historical Society Museum, on the City's potentials list, with its Covarrubias and Historic adobes moved onto the site, both City Landmarks.

Adjacent to the property along Santa Barbara Street is the site of the Sloyd School, an 1893 Queen Anne public school, on the City's potential list. A casualty of the 1925 earthquake, it was demolished in 1930, and in 1947, the present Anacapa School building at 814 Santa Barbara Street was moved onto the site for the Board of Education by the Federal Works Administration from a location along De La Guerra Street. Immediately beyond is the City Landmark Rochin adobe (1856), the first adobe built outside the Presidio walls, which utilized a number of the adobe bricks from that complex.

The building lies within the El Pueblo Viejo Landmark District, and in the Laguna Neighborhood, identified in the Land Use Element of the City's General Plan as bounded on the north by Sola, Olive, and Micheltorena Streets, on the east by Milpas Street, on the south by Cota Street, and on the west by Santa Barbara Street. This neighborhood is primarily residential in its eastern and northern portions, with mixed residential and commercial on the west side as it merges with the Downtown area (*The City of Santa Barbara General Plan. Land Use Element*. 1964). The site is zoned C-2.

Description

The shallow-pitched side-gabled roof is covered with red tiles and the walls are clad in stucco. The widely-overhanging eaves are supported on open rafters with rounded tails. A stucco-clad chimney pierces the south slope of the roof. The chief decorative feature of this otherwise plain building is the recessed entry porch with brick floor supported on four square stucco-clad posts. Decorative wood grilles infill the space between the side columns and the wall.

Vertically-oriented twelve-pane steel sash windows, both fixed and casement, topped by transoms, flank the recessed wood frame and glass paired entry doors. Similar windows are located on the north and east elevations. On the west and north elevation are horizontally-oriented 16-pane steel sash windows. Smaller steel-sash paired four-pane and three-pane casement windows light the north elevation.

Alterations

There do not appear to have been any exterior alterations, with the possible exception of the front door, which looks more recent than the rest of the building, although I did not find a building permit specific to this change. Over time various tenant improvements or repairs have been made to the interior, the last in 2004 when a fire damaged the interior.

7. DETERMINATION OF SIGNIFICANCE

Criteria of Significance

To judge whether a building is significant, the City's Master Environmental Assessment Guidelines uses criteria provided by CEQA and City Guidelines. Under CEQA Guideline §15064.5(a) historic resources include the following:

- (1) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code §5024.1, Title 14 CCR, Section 4850 et seq.)
- (2) A resource included in a local register of historical resources, as defined in §5020.1 (k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements of §5024.1 (g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
- (3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, providing the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historic Resources (Pub. Res. Code §5024.1, Title 14 CCR,

Section 4852) including the following:

- (A) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
 - (B) Is associated with the lives of persons important in our past;
 - (C) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
 - (D) Has yielded, or may be likely to yield, information important in prehistory or history.
- (4) The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historic Resources, not included in a local register of historical resources (pursuant to section 5020.1 (k) of the Public Resources Code, or identified in an historical resources survey (meeting the criteria in §5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1(j) or 5024.1.

Under City of Santa Barbara Guidance, a significant historic resource includes but is not limited to:

1. Any structure, site or object designated on the most current version of the following lists: National Historic Landmarks, National Register of Historic Places, California Registered Historical Landmark, California Register of Historical Resources, City of Santa Barbara Landmarks, City of Santa Barbara Structures of Merit.
2. Selected structures that are representative of particular styles including vernacular as well as high styles, architectural styles that were popular fifty or more years ago, or structures that are embodiments of outstanding attention to architectural design, detail, materials, or craftsmanship.
3. Any structure, site or object meeting any or all criteria established for a City Landmark and a City Structure of Merit (Municipal Code, Chapter 22.22.040, Ord. 3900 ¶1, 1977), as follows:
 - A. Its character, interest or value as a significant part of the heritage of the City, the State or the Nation;
 - B. Its location as the site of a significant historic event;
 - C. Its identification with a person or persons who significantly contributed to the culture and development of the City, the State or the Nation;
 - D. Its exemplification of a particular architectural style or way of life important to the City, the State, or the Nation;
 - E. Its exemplification as the best remaining architectural type in its neighborhood;
 - F. Its identification as the creation, design, or work of a person or persons whose effort has significantly influenced the heritage of the City, the State or the Nation;
 - G. Its embodiment of elements demonstrating outstanding attention to architectural design, detail, materials, or craftsmanship;

- H. Its relationship to any other landmark if its preservation is essential to the integrity of that landmark;
 - I. Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood;
 - J. Its potential of yielding significant information of archaeological interest;
 - K. Its integrity as a natural environment that strongly contributes to the well-being of the people of the City, the State or the Nation.
4. Any structure, site or object meeting any or all of the criteria provided for the National Register of Historic Places and the California Historical Landmark list, as follows:
The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects of State and local importance that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and
 - A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
 - B. That are associated with the lives of persons significant in our past; or
 - C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
 - D. That have yielded, or may be likely to yield, information important in prehistory or history.
 5. Any structure, site, or object associated with a traditional way of life important to an ethnic, national, racial, or social group, or to the community at large; or illustrates the broad patterns of cultural, social, political, economic, or industrial history.
 6. Any structure, site or object that conveys an important sense of time and place, or contributes to the overall visual character of a neighborhood or district.
 7. Any structure, site, or object able to yield information important to the community or is relevant to historical, historic archaeological, ethnographic, folkloric, or geographical research.
 8. Any structure, site or object determined by the City to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided the City's determination is based on substantial evidence in light of the whole record [Ref. State CEQA Guidelines §15064.5(a)(3)].

8. FINDING OF SIGNIFICANCE

Conclusion

The office building at 800 Santa Barbara Street is not considered eligible as a City Structure of Merit or Landmark according to City Landmarks criteria. However, the sandstone perimeter wall is considered significant as a Structure of Merit as a landscape feature under Criterion "I". According to the project arborist, none of the trees on site have particular historic value or age (Personal conversation with arborist Peter J. H. Winn, August 2006).

Analysis of Significance

800 Santa Barbara Street

California Register of Historic Resources

The building at 800 Santa Barbara Street was surveyed in 1978 as part of the larger Family Services Agency property. It was not mentioned, but the adjacent building at 223 East De La Guerra Street was singled out for the State Historic Resources Inventory for its architect, John Murphy of Soule Murphy and Hastings.

City of Santa Barbara Landmark or Structure of Merit

To be considered as a potential Landmark or Structure of Merit a building must retain integrity of location, materials, design, and setting and meet one of the above criteria.

The building retains integrity of location, materials, design and setting. It retains integrity of location because it has not been moved. It retains integrity of materials, such as stucco walls, tile roof, and steel-sash multi-paned windows. It has not been altered and retains integrity of design. Its setting, with lawn, mature trees, and brick sidewalk has not been altered.

Criterion A. This building is an attractive post-war rendition of the Spanish Colonial Revival style with its simple lines and repetitive steel sash windows with transoms. The brick porch floor and connecting brick path and semicircular brick steps add to its context. However, its design does not rise to the level of a Structure of Merit, and it is therefore not considered to have exceptional character, interest or value as a significant part of the heritage of the City. It is not eligible under Criterion A.

Criterion B. The building was not the location of a significant event. It is not eligible under Criterion B.

Criterion C. The building is associated with the United Way and other social service organizations. However, it is not identified with a person or persons who significantly contributed to the culture and development of the City, the State or the Nation. It is not eligible under Criterion C.

Criterion D. This building is an attractive post-war rendition of the Spanish Colonial Revival style with its simple lines and repetitive steel sash windows with transoms. However, it is not considered an exemplary example of the Spanish Colonial Revival style, and its design does not rise to the level of a Structure of Merit. It is not eligible under criterion D.

Criterion E. This building is not the best example of its type in the neighborhood. The adjacent building at 223 East De La Guerra Street is a better example of the Spanish Colonial Revival style. It is not eligible under Criterion E.

Criterion F. The building was designed by Harold John Vaile, a Santa Barbara builder whose work is not well-known in Santa Barbara. He remodeled the Vincent E. Wood Auto Building in 1946 (now demolished for the crosstown freeway), and designed a dining hall addition for the Little Town Club in 1948. He graduated from Crane Institute of Technology in Chicago, then came to Los Angeles where he worked for Carleton Winslow and Reginald Johnson. He moved to Santa Barbara in 1933 to supervise the construction work of the Johnson-designed Clark mansion near the Bird Refuge. When that job ended, he opened an office in Santa Barbara in 1935, where he was a designer and builder until 1967 ("Harold J. Vaile, 88; Santa Barbara Builder":1988). Vaile's work has not significantly influenced Santa Barbara architecture. It is not eligible under Criterion F.

Criterion G. This building is an attractive post-war rendition of the Spanish Colonial Revival style with its simple lines and repetitive steel sash windows with transoms. However, it does not embody elements demonstrating outstanding attention to architectural design, detail, materials, or craftsmanship. It is not eligible under Criterion G.

Criterion H. Although not immediately adjacent to any City Landmark, the property is surrounded by a number of early adobes remaining from the time of Santa Barbara's settlement which are City Landmarks. These include the Historic and Covarrubias adobes, and the Rochin adobe. However, the preservation of the building at 800 Santa Barbara Street as well as the landscaping is not essential to the integrity of these landmarks. It is not eligible under Criterion H.

Criterion I. It is not a familiar and established feature of the neighborhood. It is not eligible under Criterion I.

Criterion J. This criterion is not applicable under the purview of this report.

Criterion K. This criterion is not applicable.

Criterion 1. The building is not eligible under Criterion 1 because it is not listed on the National Register of Historic Places and the California Register of Historic Resources.

Criterion 2. The building is not eligible under Criterion 2 because it does not embody outstanding attention to architectural design, detail, materials, or craftsmanship.

Criterion 4. The building is not eligible under criterion 4 because it is not listed on the National Register of Historic Places or on the California Historic Landmark list.

Criterion 5. The building is not eligible under Criterion 5 because it is not associated with a traditional way of life nor does it illustrate broad patterns of cultural, social, political, economic, or industrial history.

Criterion 6. The building is not eligible under Criterion 6 because it does not contribute to the overall visual character of the neighborhood. Set back from the street, it is quite hidden behind the extensive landscaping. However the landscaping contributes to the visual character of the neighborhood.

Criterion 7. The building is not eligible under Criterion 7. It is not able to yield information relevant to historical, historic archaeological, ethnographic, folkloric, or geographical research.

Criterion 8. The building is not eligible under Criterion 8 because it is not listed on the CRHR.

Sandstone Perimeter Retaining Wall

The sandstone perimeter wall is considered eligible under Criterion "I" and Criterion 6 as a familiar and established feature of this corner, dating to the 1920s, and considered a part of the old Neighborhood House landscaping.

9. ASSESSMENT OF IMPACTS OF THE PROJECT

CEQA Guidelines for Determining Project Effects

CEQA defines a potential adverse effect as one that would cause a substantial change in the significance of a resource. Such a substantial change means demolition, destruction, relocation, or alteration of the physical characteristics of the resource or its immediate surroundings that justify its eligibility for the CRHR or its inclusion in a local register of historic resources (PRC Section 15064.5 (b) (1,2)).

According to the latest CEQA guidelines, if a project involving significant historical resources follows *The Secretary of the Interior's Standards for the Treatment of Historic Properties With Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (Standards)* (Weeks and Grimmer 1995), the project is considered to be mitigated to a level of less than a significant impact on the historic resource (PRC Section 15064.5 (b) (3)). The *Standards* are as follows:

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a way that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Analysis of Proposed Project According to CEQA Guidelines

Summary

The building is not considered an historic resource according to CEQA standards. Therefore its demolition is not considered an historic impact. It is being reviewed primarily because of its context adjacent to a potential historic resource, the 1927 Soule Murphy and Hastings building to the east. However the perimeter sandstone retaining wall, associated with the 1927 building, is considered eligible as a City Structure of Merit under Criterion "1" and Criterion 6. The individual trees on the property are not considered significant, but the extensive landscaping has become a familiar visual feature of the streetscape and will be considered in the analysis of the potential impacts of the project. The Standard that is relevant to analyze the proposed project is Standard 9.

Analysis

9. "New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."

The character-defining features of the site are the sandstone retaining wall which was very probably added when the building at 223 East De La Guerra Street was constructed. As

well, the extensive landscaping, although not considered significant, nevertheless defines the corner where the project will be located.

The proposed project is designed in the Spanish Colonial Revival style, as required in the El Pueblo Viejo district. It is set back sufficiently from the potentially significant building at 223 East De La Guerra Street so that all the elevations and courtyard landscape features of that building which face the proposed project continue to be visually and actually separated from the new buildings. The two-story massing matches the two-story portion of the building at 223 East De La Guerra Street. The third story portion is set back from the one-story wing of the building at 223 East De La Guerra Street a sufficient distance that it does not loom. The Monterey balcony elements are sufficiently distinct from the architectural details of the building at 223 East De La Guerra Street, to differentiate the new buildings from the old. The project is compatible with the historic materials, features, size, scale, and proportion and massing of the existing building.

The property, as mentioned above, is set within the neighborhood of a number of Landmark adobes, as well as other buildings on the City's potential list. However, because it is sufficiently removed from them, its presence as a larger-scale building ~~will not impact these~~ historic buildings. The Historic and Covarrubias adobes are hidden behind the Historical Society building, the Rochin adobe is located two doors down from the proposed building site, and then remaining historic buildings dating from the first settlement of Santa Barbara are at least a block away along De La Guerra Street. May

The perimeter wall is incorporated into the project. The two-story building facing East De La Guerra Street is set back from the sidewalk, behind a sandstone privacy wall, which in turn has been set back from the perimeter wall to allow for planting, presumably the same agaves which are there now. The commercial building on Santa Barbara Street is also set back from the perimeter wall to allow for a planting strip. There will be three large landscape pockets for new trees. Several of the trees are called out to be saved, one of them the black acacia near the corner. However, that is the one which is pushing out the perimeter wall, and its preservation would further damage the historic resource.

In my professional opinion, the proposed project meets Standard 9 with the exception of the retention of the above-mentioned black acacia tree. Because the wall is significant under Criterion "I", retention of the black acacia tree that is pushing this wall out of alignment would cause a potentially significant mitigatable impact (Class II). With the required mitigation measures listed below, the project, according to CEQA criteria, would be considered to be mitigated to a level of less than a significant impact on the historic resource (PRC Section 15064.5 (b) (3)).

10. REQUIRED ACTION/MITIGATION MEASURES

1. The black acacia tree that is pushing the perimeter wall out of alignment shall be removed and the wall repaired. Any new plantings of trees shall be set back sufficiently from this wall that they will not damage the wall.

2. Where the perimeter wall needs to be cut through for new use, the existing configuration of the wall cuts, such as that for the brick walkway, shall be copied.

11. RESIDUAL IMPACTS

After implementation of the required mitigation measures listed above, a potentially significant but mitigatable (Class II) impact would be reduced to an adverse but not significant impact (Class III).

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Service. Cultural Resource Stewardship and Partnerships. Heritage Preservation Services.

Maps

- 1892 Sanborn Fire Insurance Map
- 1907 Sanborn Fire Insurance Map
- 1930 Sanborn Fire Insurance Map
- 1930-1950 Sanborn Fire Insurance Map

Archives Consulted:

- City of Santa Barbara Public Library
- City of Santa Barbara Street files
- Gledhill Library, Santa Barbara Historical Society

13. PLATES



Plate 1. South façade of building. Facing north. A. C. Cole. July 2006



Plate 2. Detail of recessed porch on south façade. Facing north. A. C. Cole. July 2006.



Plate 3. Entrance door detail, south façade. Facing north. A. C. Cole. July 2006

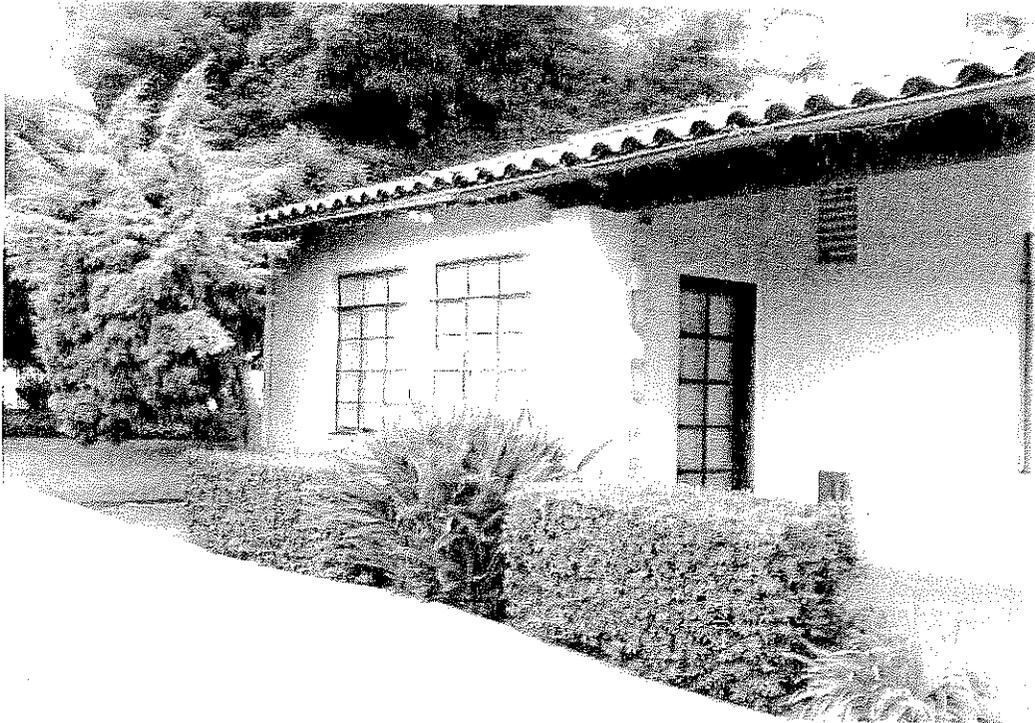


Plate 4. Detail of west wing of south façade, showing 10-pane side door.
Facing northwest. A. C. Cole. July 2006



Plate 5. Detail of decorative wood grille at side of recessed porch.
Facing west. A. C. Cole. July 2006



Plate 6. Detail of east wing of south façade. Facing northeast. A. C. Cole. July 2006



Plate 7. South and east elevations with brick steps. Facing northwest.
Susan McLaughlin. June 2006

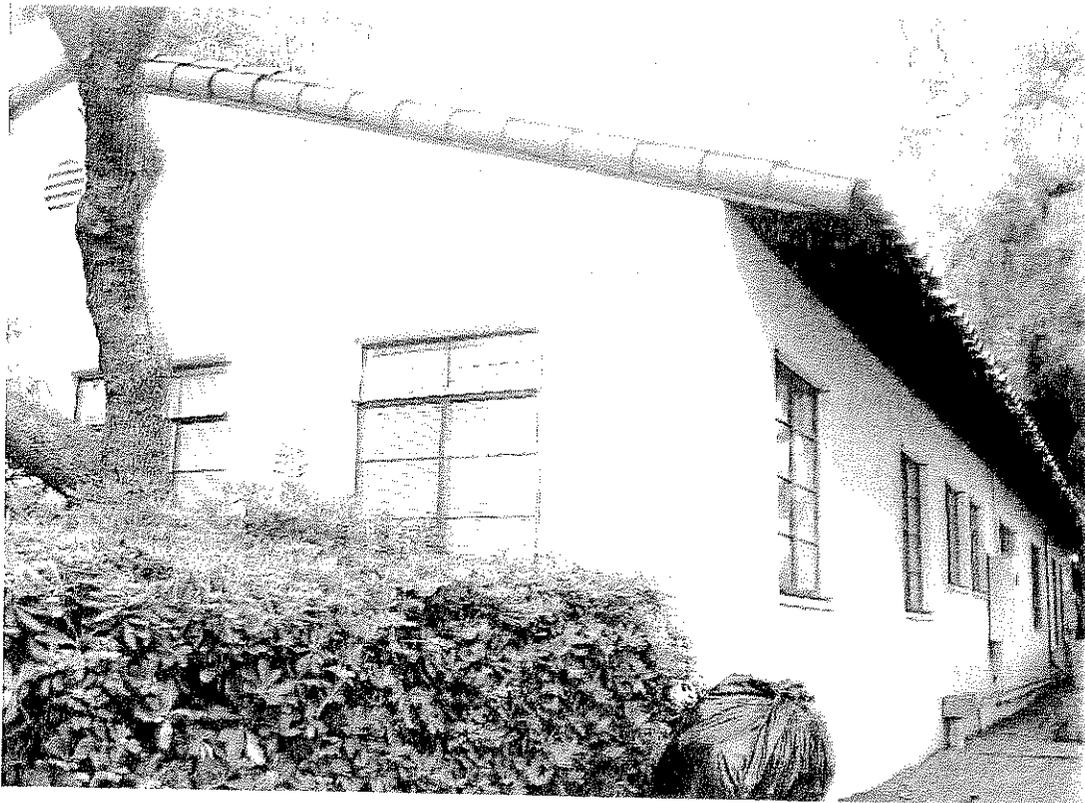


Plate 8 . East and north elevations. Facing southwest. A. C. Cole. July 2006



Plate 9 . North elevation, with property line fence to right. Facing west. A. C. Cole. July 2006



Plate 10. North elevation showing sixteen-pane windows. Facing east. A. C. Cole. July 2006



Plate 11. West elevation with landscaping. Facing east. Susan McLaughlin. June 2006

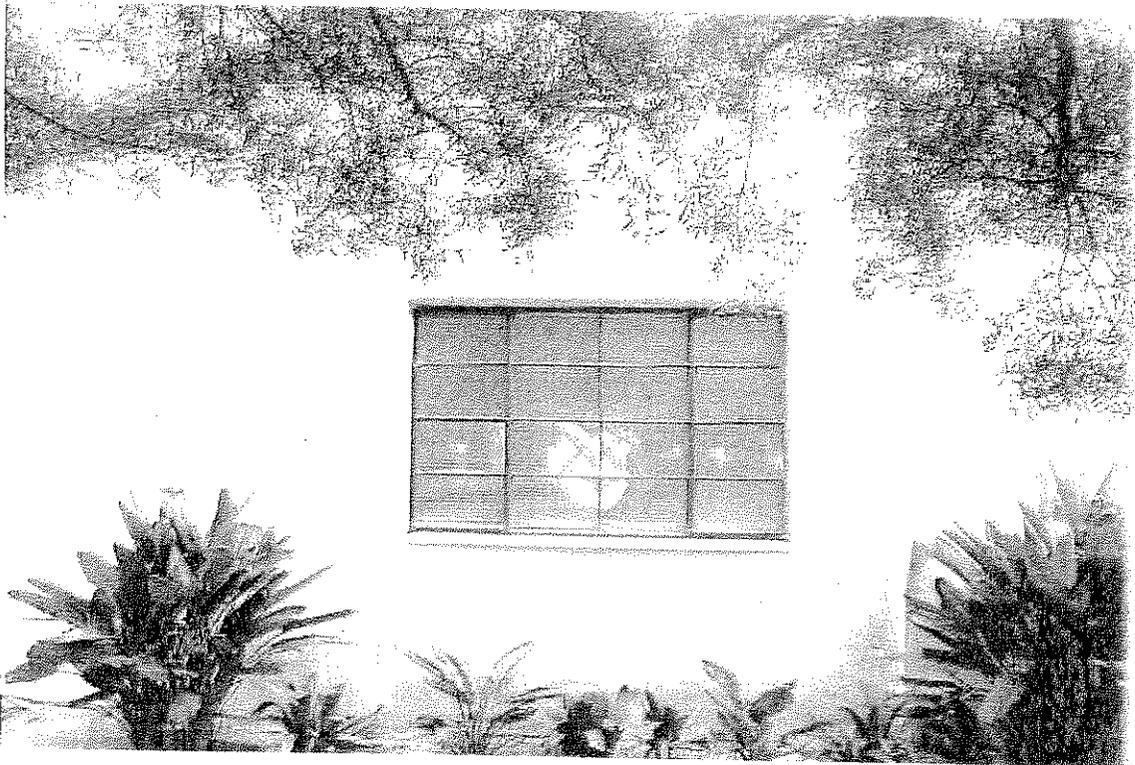


Plate 12. West elevation showing sixteen-pane window. A. C. Cole. July 2006

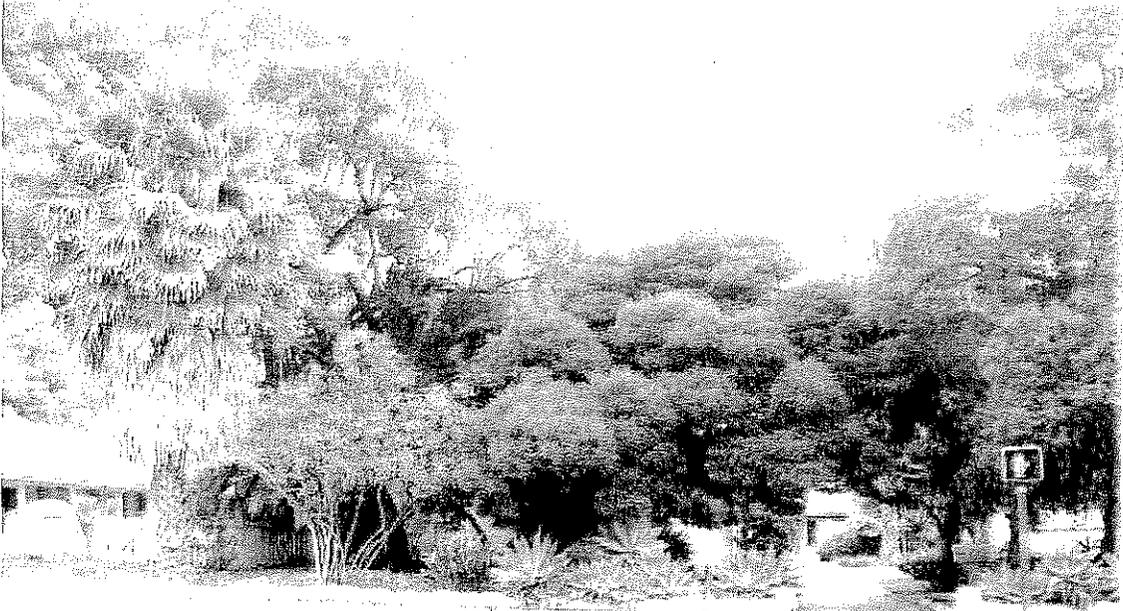


Plate 13. View of the property from Santa Barbara Street, showing extensive landscaping and low sandstone perimeter retaining wall. Facing east. A. C. Cole. July 2006



Plate 14. View of the property from Santa Barbara Street, showing extensive landscaping and low sandstone perimeter retaining wall. Facing southeast. A. C. Cole. July 2006



Plate 15. View looking northeast of the property from De La Guerra Street, showing landscaping and low sandstone perimeter retaining wall. Facing northeast. A. C. Cole. July 2006

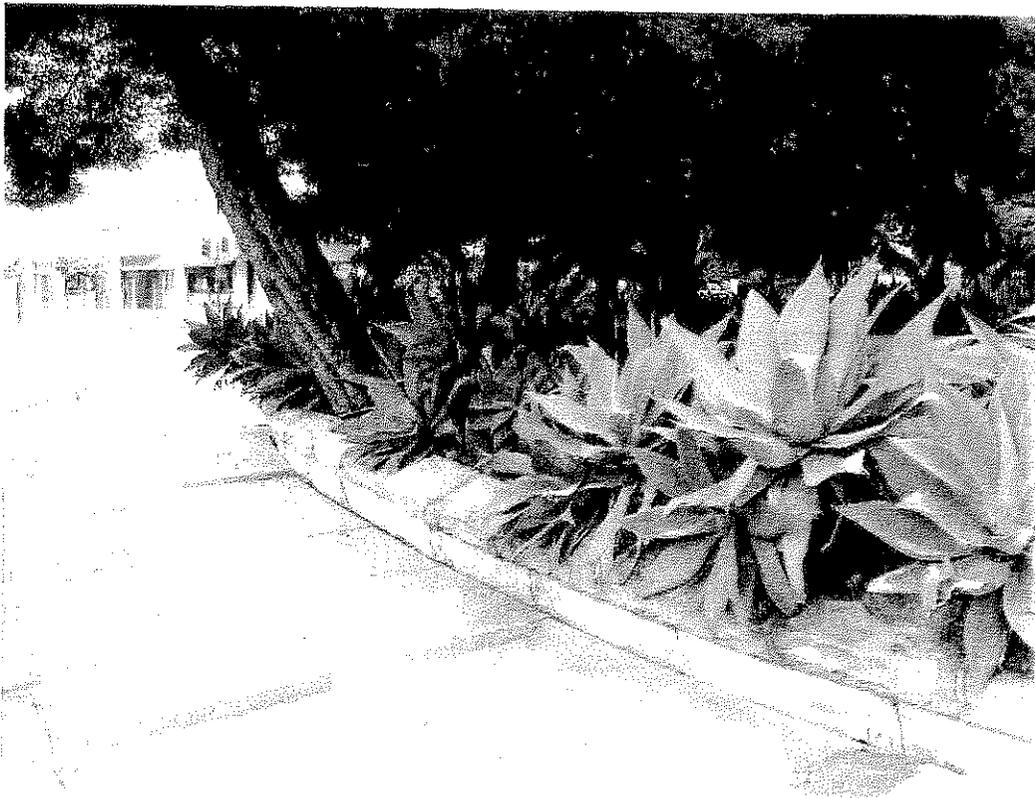


Plate 16. View showing how black acacia and landscaping is pushing the sandstone wall out of alignment. Facing west. A. C. Cole. July 2006

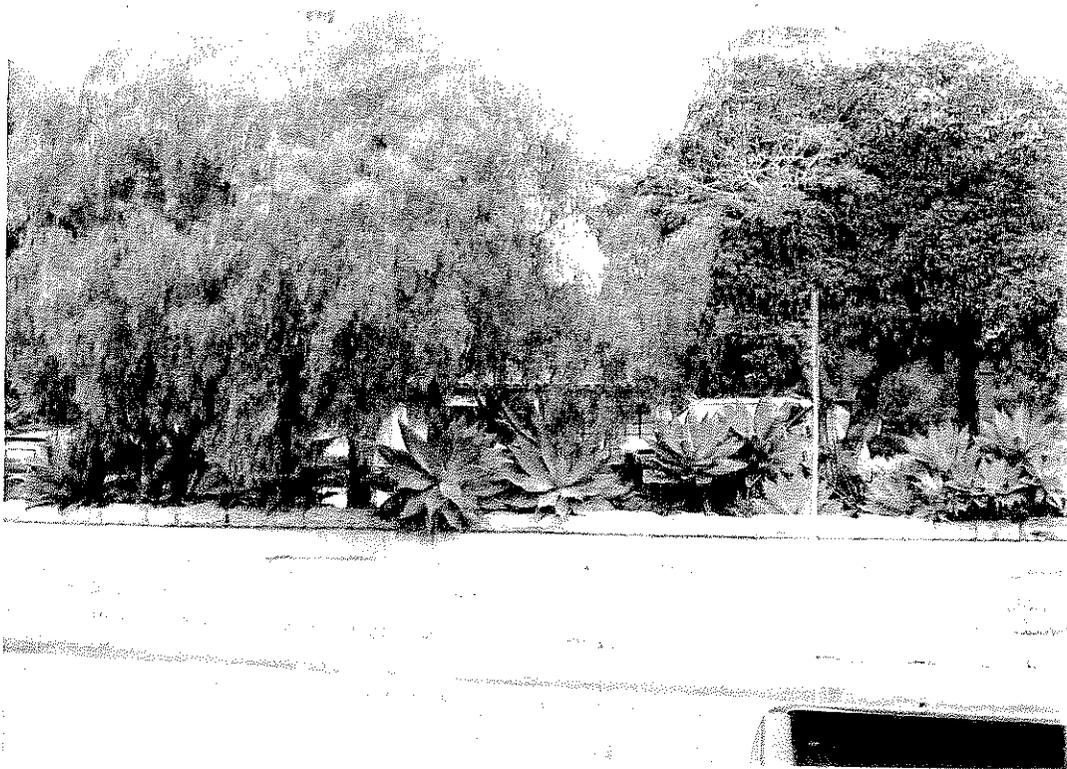


Plate 17. Detail of sandstone perimeter wall and landscaping along De La Guerra Street, elevation. Facing north. Susan McLaughlin. June 2006

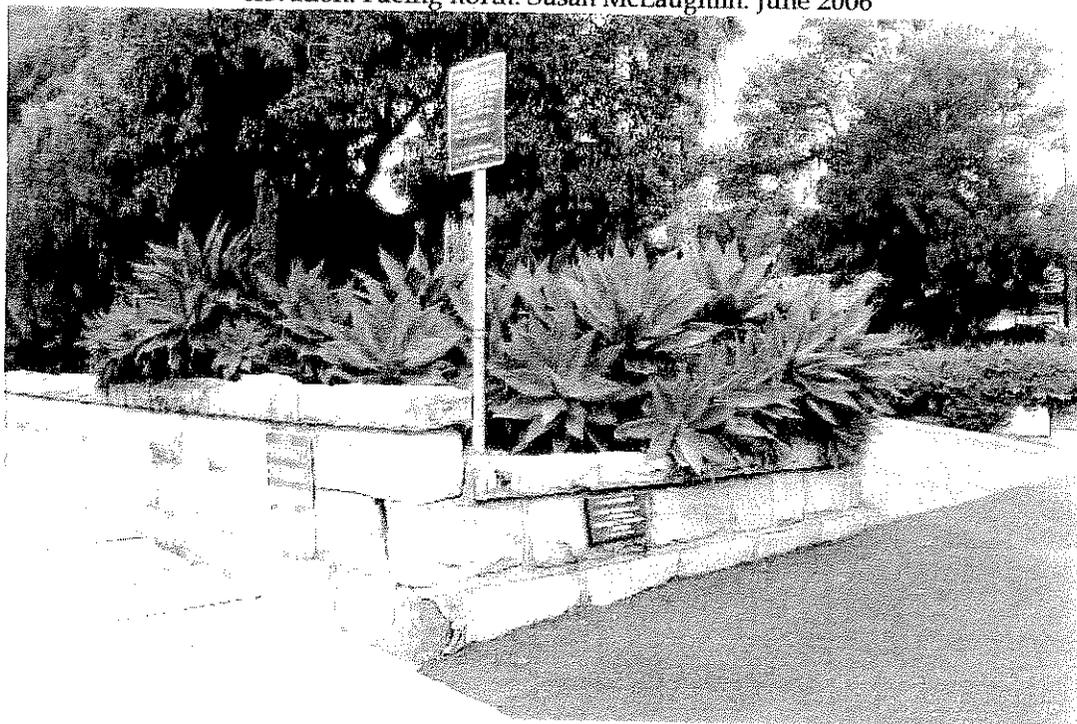


Plate 18. Detail of sandstone perimeter wall and landscaping at driveway entrance on De La Guerra Street. Facing northwest. A. C. Cole. July 2006

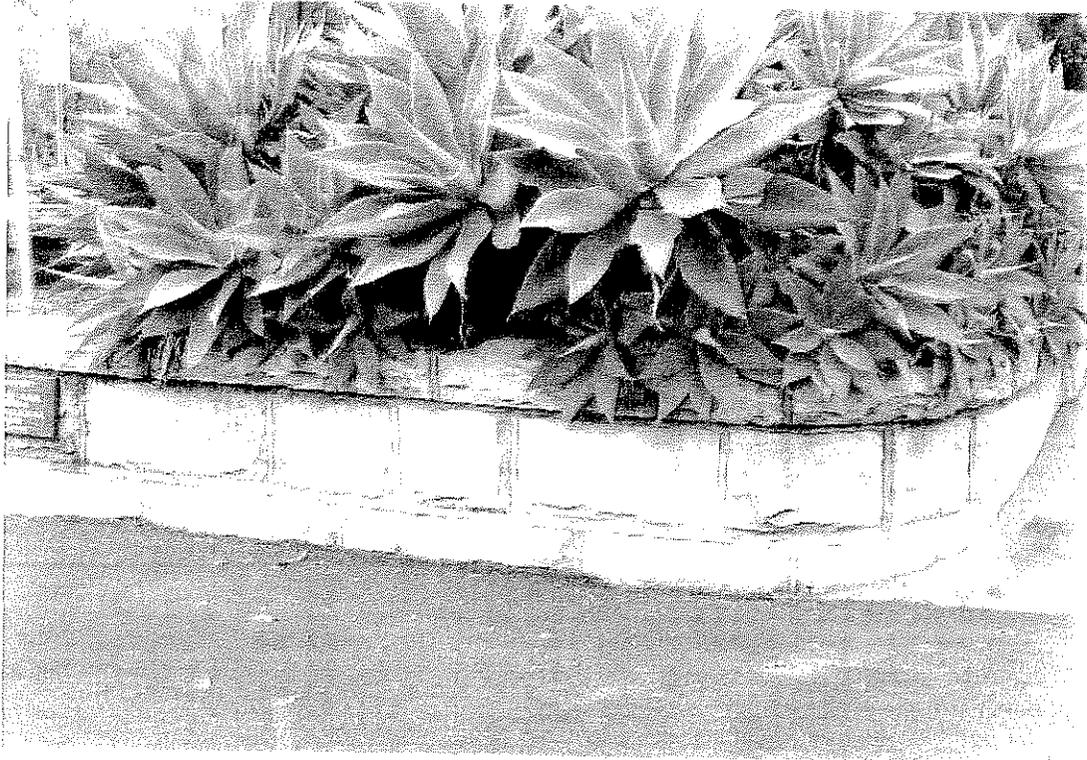


Plate 19. Detail of sandstone perimeter wall and landscaping at driveway entrance on De La Guerra Street. Facing west. A. C. Cole. July 2006

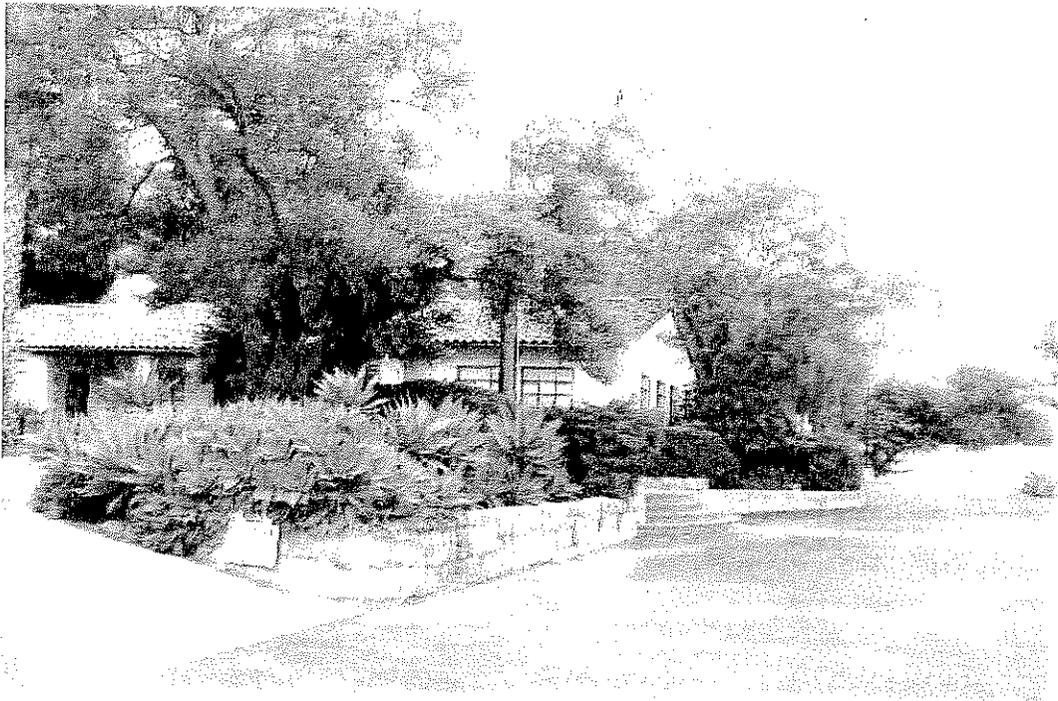


Plate 20. View of sandstone retaining wall and brick steps at paved area separating 223 East De La Guerra Street from 800 Santa Barbara Street. Facing northwest. A. C. Cole. July 2006

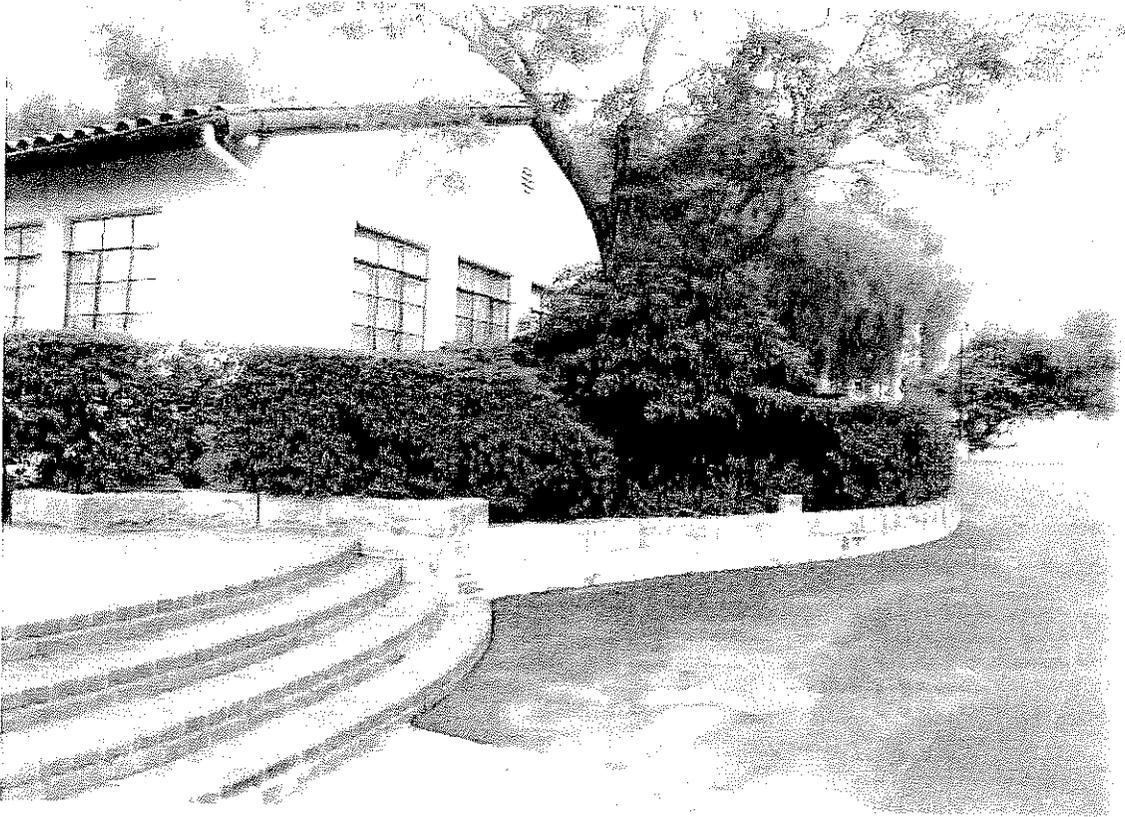


Plate 21. Detail of brick steps and sandstone retaining wall. Facing northwest.
A. C. Cole. July 2006

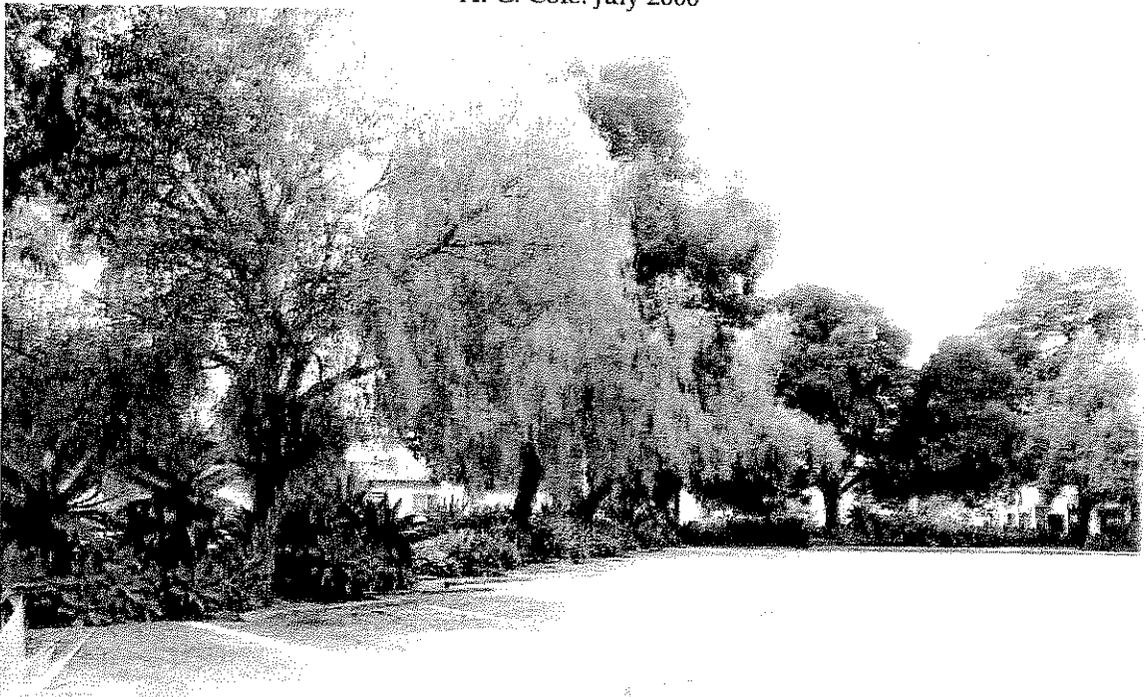


Plate 22. View of landscaping between parking area of 800 Santa Barbara Street and De La Guerra Street. Facing southwest. A. C. Cole. July 2006

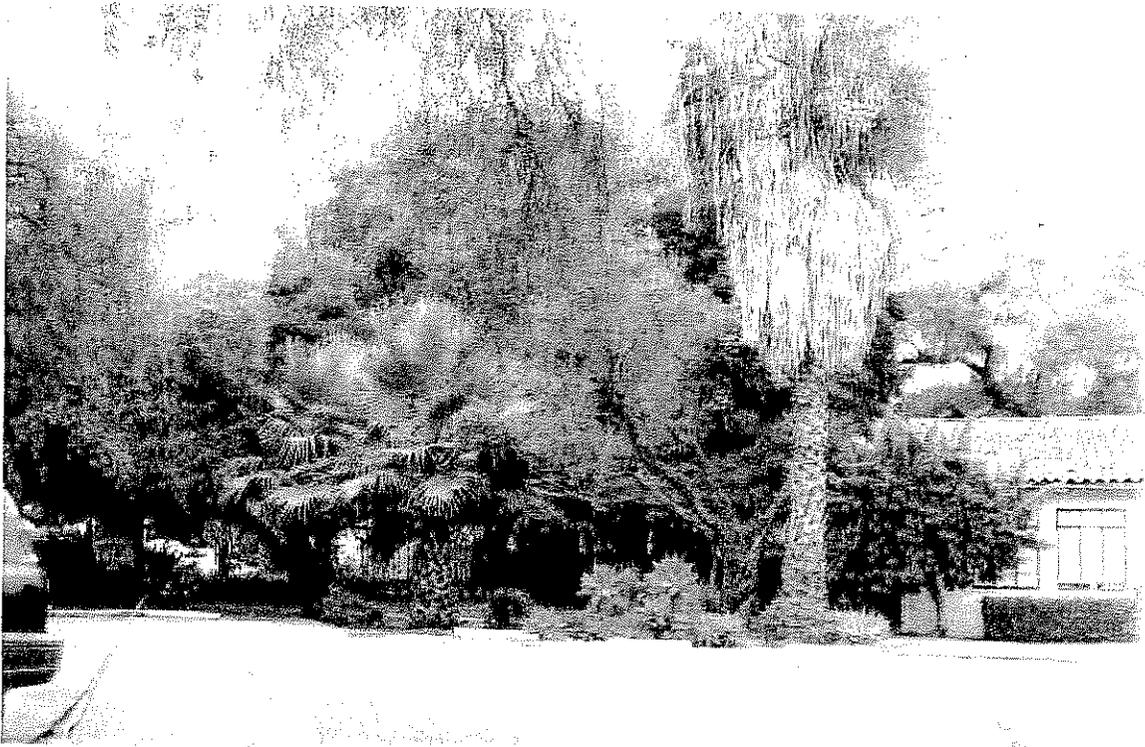


Plate 23. View of landscaping on west side of building at 800 Santa Barbara Street.
Facing north. A. C. Cole. July 2006



Plate 24. View of flagpole on brick path in front of 800 Santa Barbara Street. Facing east. A. C. Cole. July 2006

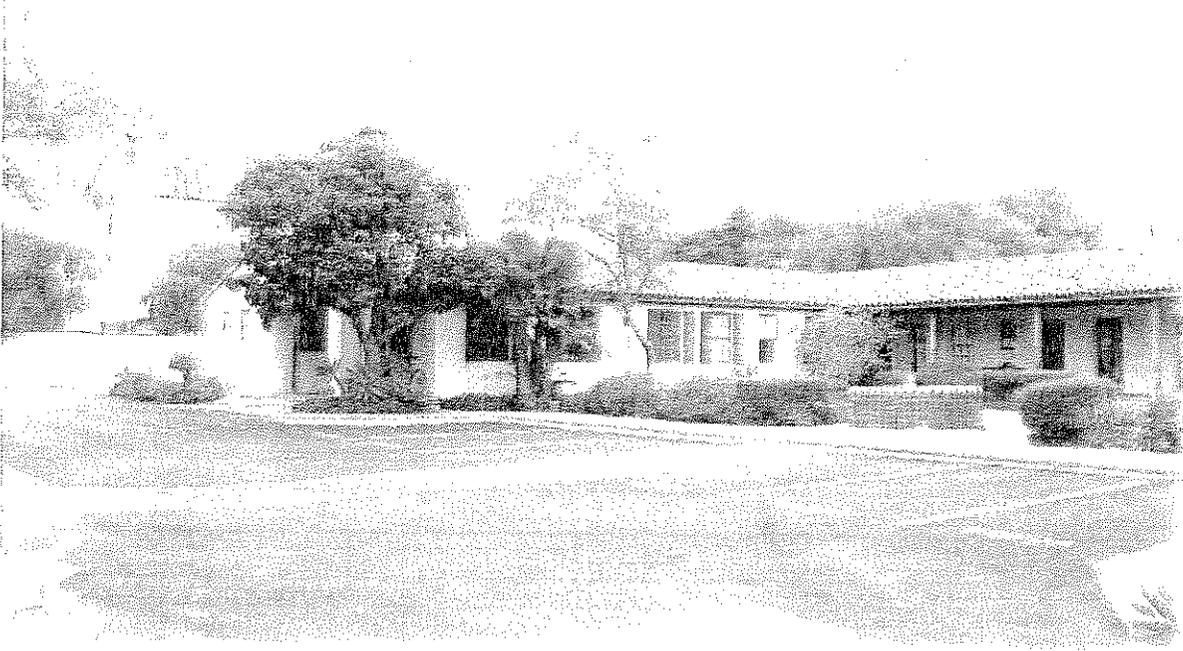


Plate 25. View of 223 East De La Guerra Street across common parking area.
Facing northeast. A. C. Cole. July 2006

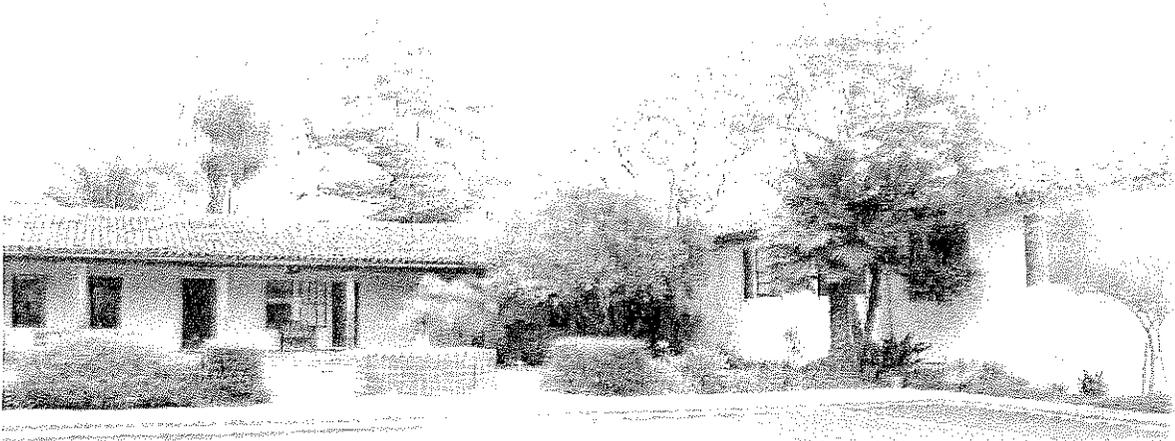


Plate 26. View of 223 East De La Guerra Street across common parking area.
Facing southeast. A. C. Cole. July 2006

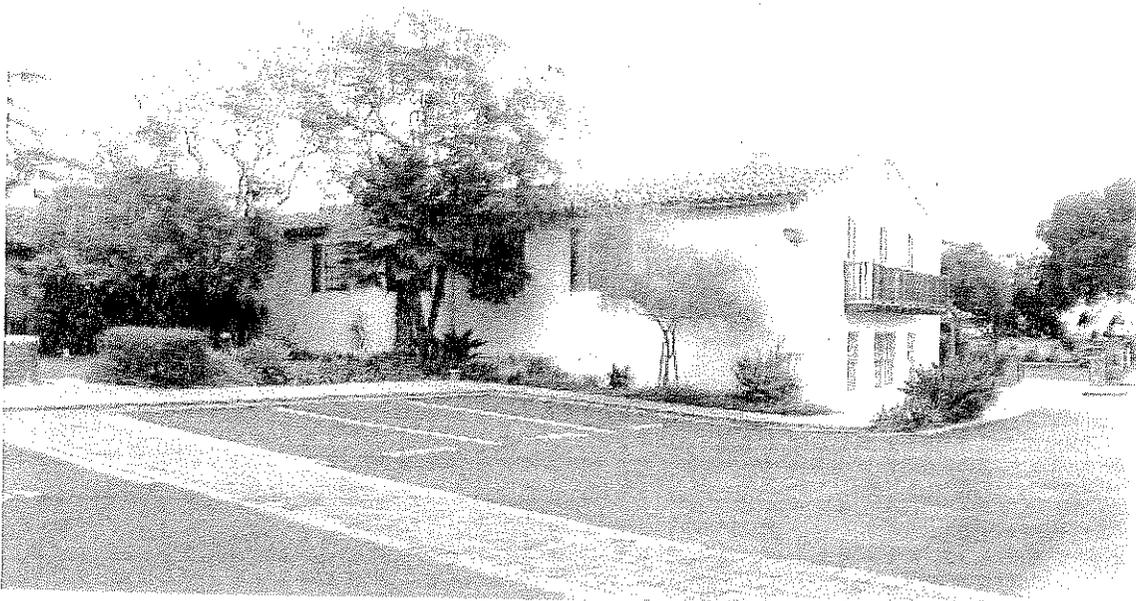


Plate 27. View of 223 East De La Guerra Street across common parking area.
Facing southeast. A. C. Cole. July 2006



Plate 28. View of 223 East De La Guerra Street at the entrance to the common parking area.
Facing northeast. Susan Mc Laughlin. June 2006



Plate 29. Santa Barbara Historical Museum at the southwest corner of De La Guerra and Santa Barbara Streets. Facing southwest. A. C. Cole, August 2006



Plate 30. Commercial building at the northwest corner of De La Guerra and Santa Barbara Streets .Facing northwest. A. C. Cole, August 2006

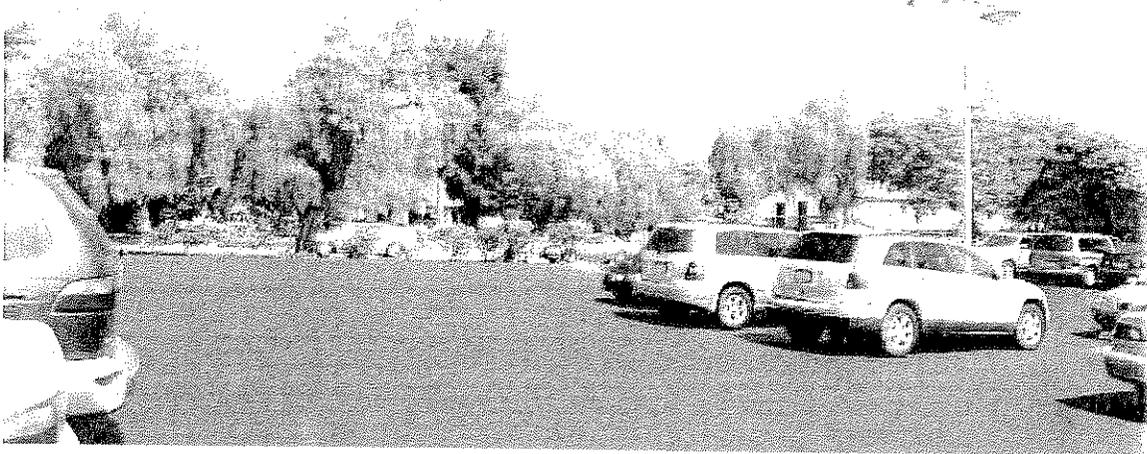


Plate 31. Southeast corner of Santa Barbara and De La Guerra Streets, showing parking lot with 800 Santa Barbara Street in background. Facing north. A. C. Cole, August 2006



Plate 32. Anacapa School, immediately north of 800 Santa Barbara Street. Site of Sloyd School. Facing northeast. A. C. Cole. August 2006

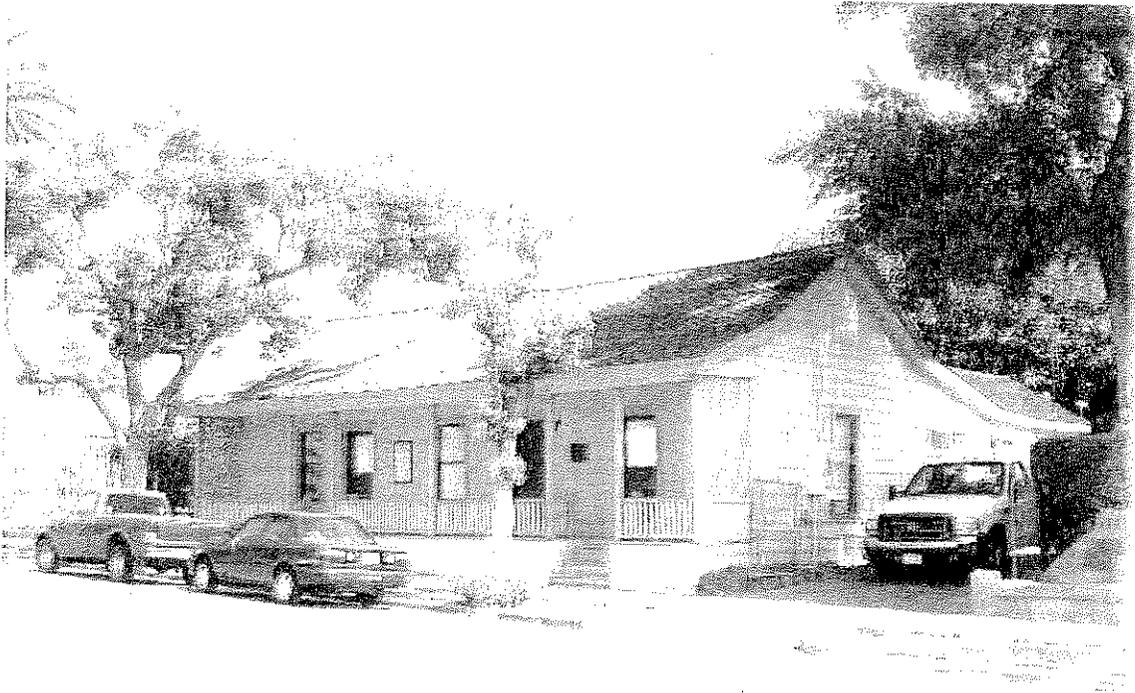
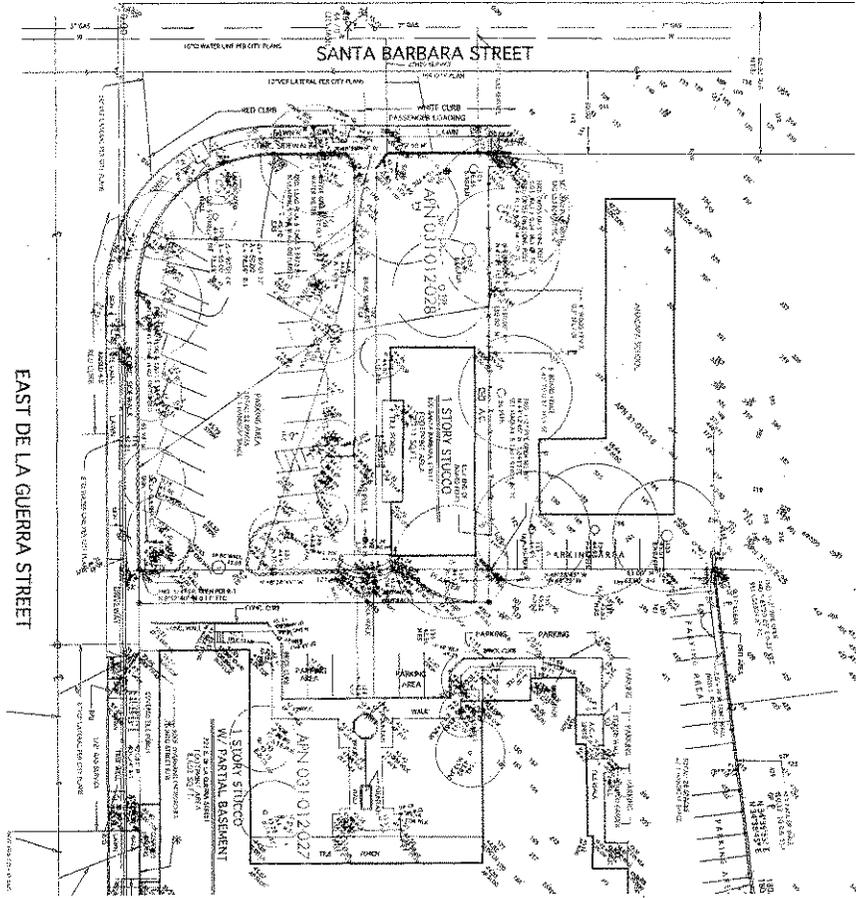


Plate 33. Rochin adobe, 820 Santa Barbara Street. Facing northeast. A. C. Cole. August 2006

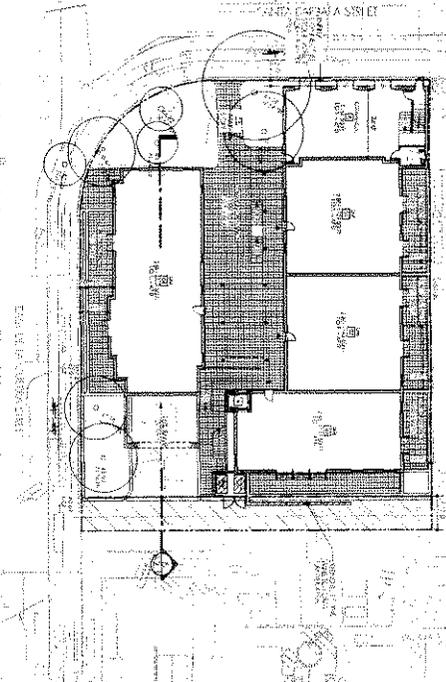


Plate 34. Presidio Avenue on De La Guerra Street between Anacapa and Santa Barbara Streets. Facing northwest. A. C. Cole. August 2006

14. APPENDIX



Survey/Existing Site Plan
Scale: 1" = 20'



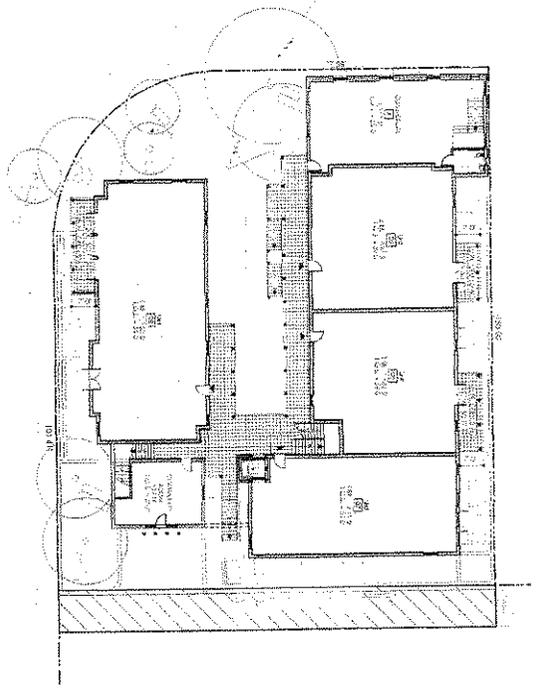
Site / First Floor Plan
Scale: 1" = 20'



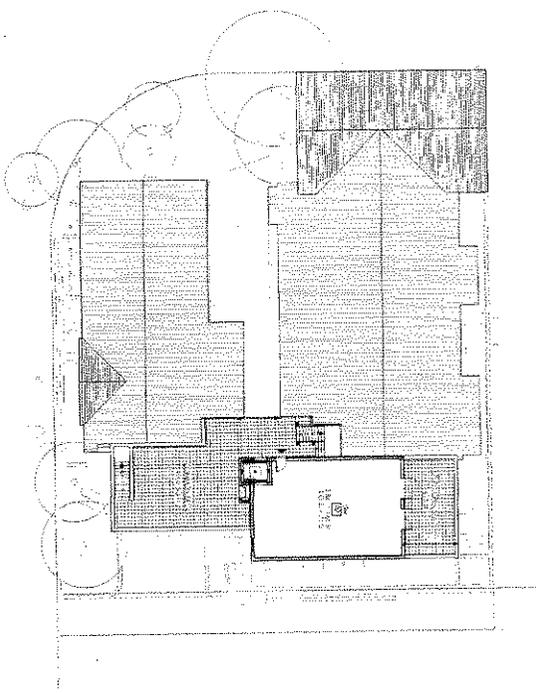
		<p>Proposed Mixed-Use project for: 800 Santa Barbara Street LLC 800 Santa Barbara Street Santa Barbara, CA 93101</p>
<p>DATE: 03/15/2011 DRAWN BY: JRM CHECKED BY: JRM SCALE: AS SHOWN</p>	<p>PROJECT NO.: 03033 SHEET NO.: 03 TOTAL SHEETS: 03</p>	<p>DATE: 03/15/2011 DRAWN BY: JRM CHECKED BY: JRM SCALE: AS SHOWN</p>
<p>PROJECT: 800 Santa Barbara Street LOCATION: Santa Barbara, CA CLIENT: Street LLC</p>	<p>DESIGNER: JRM ARCHITECT: JRM ENGINEER: JRM</p>	<p>DATE: 03/15/2011 DRAWN BY: JRM CHECKED BY: JRM SCALE: AS SHOWN</p>

A1.0

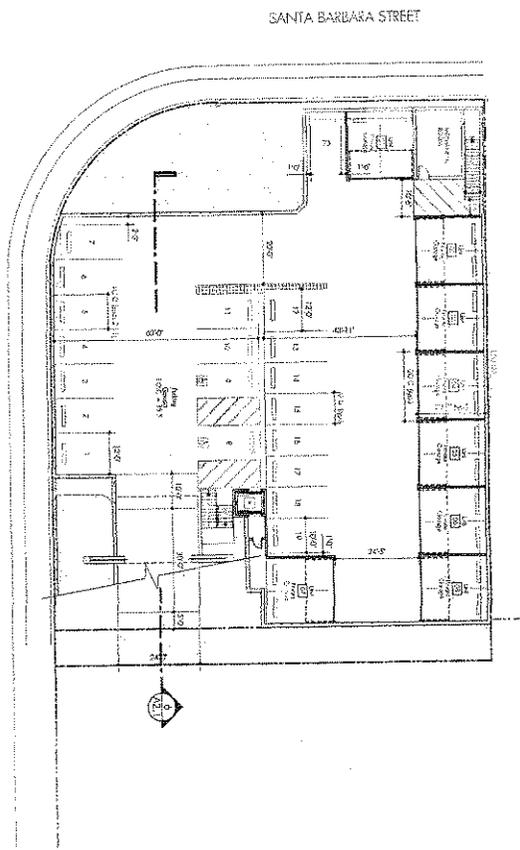
SHEET 03



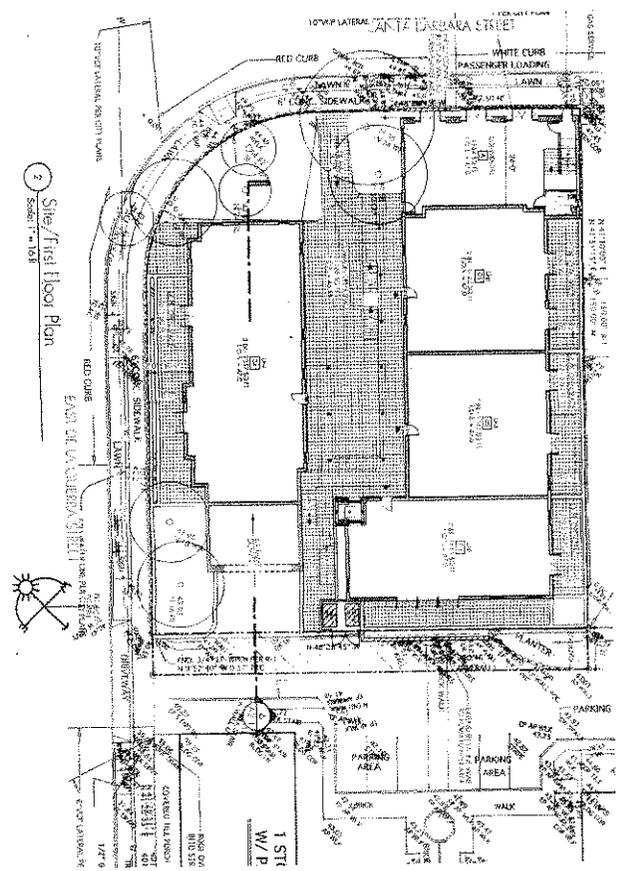
3 Second floor Plan
Scale: 1/8"



4 Third Floor/Roof Plan
Scale: 1/8"



1 Garage Plan
Scale: 1/8"



2 Site/First floor Plan
Scale: 1/8"

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20	NO. 21	NO. 22	NO. 23	NO. 24	NO. 25	NO. 26	NO. 27	NO. 28	NO. 29	NO. 30	NO. 31	NO. 32	NO. 33	NO. 34	NO. 35	NO. 36	NO. 37	NO. 38	NO. 39	NO. 40	NO. 41	NO. 42	NO. 43	NO. 44	NO. 45	NO. 46	NO. 47	NO. 48	NO. 49	NO. 50	NO. 51	NO. 52	NO. 53	NO. 54	NO. 55	NO. 56	NO. 57	NO. 58	NO. 59	NO. 60	NO. 61	NO. 62	NO. 63	NO. 64	NO. 65	NO. 66	NO. 67	NO. 68	NO. 69	NO. 70	NO. 71	NO. 72	NO. 73	NO. 74	NO. 75	NO. 76	NO. 77	NO. 78	NO. 79	NO. 80	NO. 81	NO. 82	NO. 83	NO. 84	NO. 85	NO. 86	NO. 87	NO. 88	NO. 89	NO. 90	NO. 91	NO. 92	NO. 93	NO. 94	NO. 95	NO. 96	NO. 97	NO. 98	NO. 99	NO. 100
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Proposed Mixed Use project for:
800 Santa Barbara Street LLC
 800 Santa Barbara Street
 Santa Barbara, CA 93101



CEARNAL ARCHITECTS
 1111 E. Foothill Blvd.
 Suite 100
 Santa Barbara, CA 93101
 Phone: 805.964.1111
 Fax: 805.964.1112
 Email: info@cearnal.com

PRESERVATION PLANNING ASSOCIATES

519 Fig Avenue, Santa Barbara, CA 93101
Telephone and FAX (805) 969-4183 Accole5@cs.com

HLC F.B. 3/21/07
Approved

March 7, 2007

Members of the Historic Landmarks Commission
630 Garden Street
Santa Barbara, CA 93102

*Re: Letter Addendum to Historic Structures/Sites Report for 800 Santa Barbara Street,
APN031-012-028*

The Historic Structures/Sites Report for 800 Santa Barbara Street, prepared by Alexandra C. Cole of Preservation Planning Associates and dated August 2006, was presented and accepted at the Historical Landmarks Commission's meeting on August 16, 2006. Since that time, revised conceptual plans for the site and building design have been developed, which were reviewed by the Historic Landmarks Commission on January 10, 2007. This letter addendum to the Historic Structures Report addresses the impacts from these revised plans prepared by Cearnal Andrulaitis LLC and dated January 10, 2007. Sheets A-100, A-101, A-102, A-201, and A-202 are appended to this letter.

Findings of Significance for 800 Santa Barbara Street

As the previous Historic Structures Report for the office building at 800 Santa Barbara Street determined, it is not considered eligible as a City Structure of Merit or Landmark according to City Landmarks criteria and therefore is not a historic resource according to CEQA guidelines. Its demolition will not have a significant impact. However, the sandstone perimeter wall is considered significant as a Structure of Merit as a landscape feature under Criterion "I" and Criterion 6 as a familiar and established feature of this corner, dating to the 1920s, and considered a part of the old Neighborhood House landscaping. According to the project arborist, Peter Winn, none of the trees on site have particular historic value or age. The individual trees on the property are not considered significant, but the extensive landscaping has become a familiar visual feature of the streetscape and is considered an important component of the site (Preservation Planning Associates 2006).

The site itself is important historically. This property lies very near the heart of historic Santa Barbara, a stone's throw from the Presidio's outer defense wall. Down De La Guerra Street from the property towards State Street are the Casa De La Guerra, the Santiago De La Guerra adobe, and the Lugo adobe, incorporated into the Meridian studios. All of these are either City Landmarks or potential historic structures. Across

Plaza De La Guerra, the Orena adobes, the Orena store, the El Presidio building which encapsulates an old adobe, Presidio Avenue, the oldest street in Santa Barbara, the De La Guerra Street is the Historical Society Museum, on the City's potentials list, with its Covarrubias adobe and the Historic adobe, both City Landmarks.

Immediately beyond the Anacapa School building at 814 Santa Barbara Street is the City Landmark Rochin adobe (1856), the first adobe built outside the Presidio walls, which utilized a number of the adobe bricks from that complex. The adjacent building at 223 East De La Guerra Street, the former Neighborhood House, was singled out for the State Historic Resources Inventory for its architect, John Murphy of Soule Murphy and Hastings. The Historic Landmarks Commission believed that the project may have an impact upon this historic neighborhood.

Analysis of the Proposed Project (see attached drawings)

CEQA Guidelines for Determining Project Effects

CEQA defines a potential adverse effect as one that would cause a substantial change in the significance of a resource. Such a substantial change means demolition, destruction, relocation, or alteration of the physical characteristics of the resource or its immediate surroundings that justify its eligibility for the CRHR or its inclusion in a local register of historic resources (PRC Section 15064.5 (b) (1,2)).

According to the latest CEQA guidelines, if a project involving significant historical resources follows *The Secretary of the Interior's Standards for the Treatment of Historic Properties With Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (Standards)* (Weeks and Grimmer 1995), the project is considered to be mitigated to a level of less than a significant impact on the historic resource (PRC Section 15064.5 (b) (3)). The *Standards* are as follows:

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a way that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Analysis of the proposed project

The project proposes to demolish the existing 1,965 square foot one-story office building at 800 Santa Barbara Street and replace it with a mixed use project containing 4,174 square feet of commercial space and six new condominium units totaling 10,015 square feet. An underground parking structure, totaling 12,816 square feet, will open off the De La Guerra Street existing driveway. The project is configured with two main buildings, a long two-story rectangle at the north edge of the property with a three-story element at its northeast end and a two-story U-shaped building wrapped around a central courtyard. They are separated by the existing brick pathway, flagpole, and curved brick steps on the ground floor but are linked by an open bridge at the second story level. The two-story U-shaped building facing East De La Guerra Street is set back from the sidewalk, behind a stucco privacy wall, which in turn has been set back from the perimeter wall to allow for planting of agaves. The west end of the two-story rectangular building is set back six feet from the Santa Barbara Street sidewalk behind a planting buffer.

The relevant Standard for analysis of the proposed project is Standard 9.

Impact on the site

The character-defining features of the site are the sandstone retaining wall which was very probably added when the building at 223 East De La Guerra Street was constructed. As well, the extensive landscaping, although not considered significant, nevertheless defines the corner where the project will be located. Of neighborhood concern are the axial brick path and curved steps that connect Santa Barbara Street to the original Neighborhood house at 223 East De La Guerra Street.

The sandstone retaining wall with its planting of agaves along De La Guerra and Santa Barbara Streets, as well as the brick axial path, flagpole, and curved steps will remain. Several of the existing trees will be retained, and the proposed landscape plan includes the addition of olive, pepper, and palm trees which are similar types to the existing trees, recreating the landscape buffer at the corner of De La Guerra and Santa Barbara Streets. The project meets this part of Standard 9: *New construction shall not destroy historic materials, features, and spatial relationships that characterize the property.*

Impact on Surrounding Historic Buildings

The majority of the significant buildings mentioned above are not within the immediate vicinity of the proposed project. The historic buildings dating from the first settlement of Santa Barbara are at least a block away along De La Guerra Street. The Historic and Covarrubias adobes are hidden behind the Historical Society building, out of the viewshed of the proposed project. Additionally the U-shaped building facing the Historical Society building across East De La Guerra Street is set back 17 feet from the sidewalk with a stucco wall two feet behind the existing retaining wall and agaves, to buffer this elevation from view within the neighborhood.

The two buildings which potentially could be impacted by the project are the Rochin adobe and the former Neighborhood House. The redesign of the project has been sensitive to these buildings. The two-story building facing Santa Barbara Street has been set back six feet from the sidewalk on Santa Barbara Street to allow a view up the street towards the Rochin adobe. Its south elevation has been altered from an eaves front to a gable front which is compatible with the adjacent Anacapa School roofline. Its massing has been reduced so it is compatible with the streetscape.

As well, the buildings are set back sufficiently from the former Neighborhood House at 223 East De La Guerra Street so that all the elevations and courtyard landscape features of that building which face the proposed project continue to be visually and actually separated from the new buildings. Therefore, the project meets the remaining part of Standard 9 as well: *"The new work ...shall be compatible with the historic materials, features,*

size, scale and proportion, and massing to protect the integrity of the property and its environment."

Because the proposed project meets Standard 9, no mitigation measures are required.

Sincerely,

Alexandra C. Cole

Alexandra C. Cole, Principal

Attachments:

Plates

Architectural Drawings



Plate 1. Brick pathway to be replicated. Facing east. A. C. Cole, July 2006

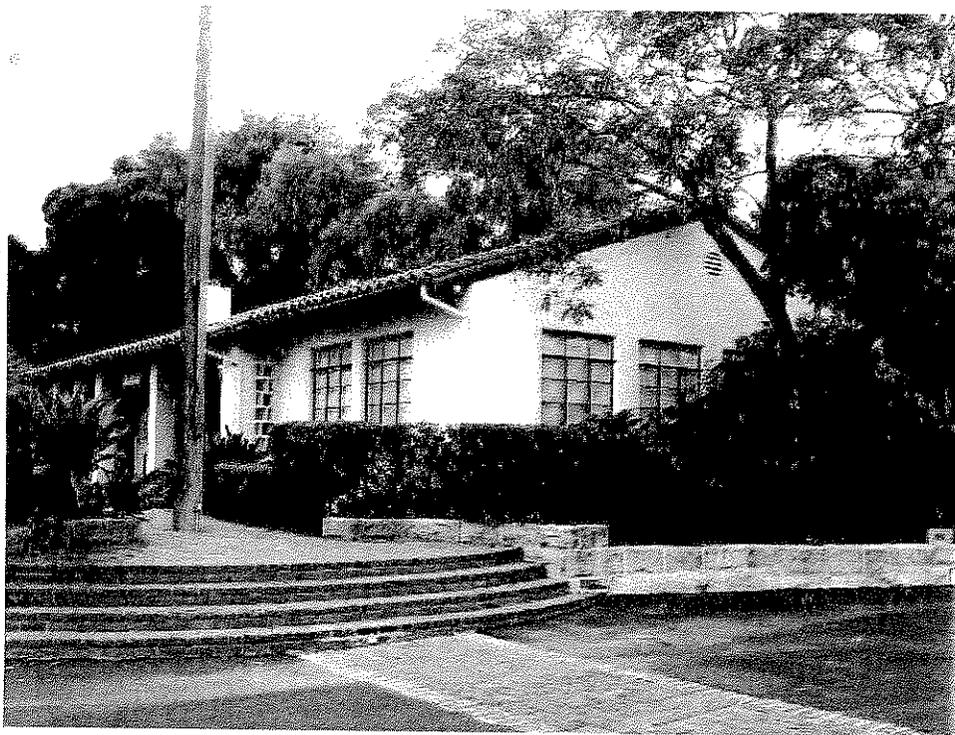


Plate 2. Brick steps to be replicated. Facing northwest. Susan McLaughlin. June 2006

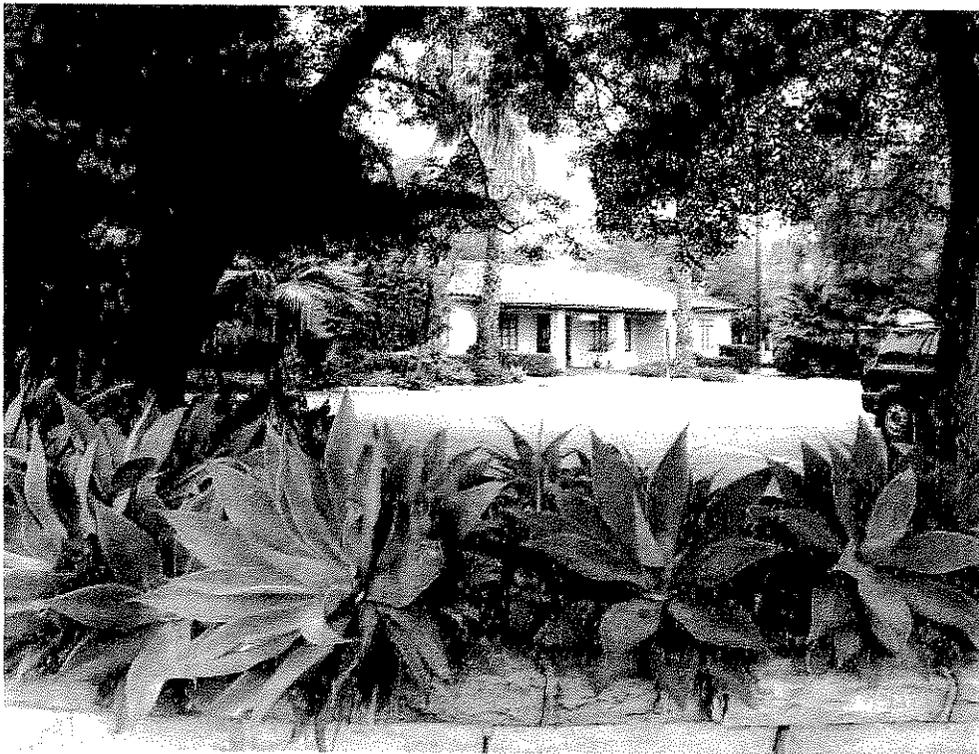


Plate 3. View of agaves and sandstone wall to be retained.
Facing northeast. A. C. Cole, July 2006



Plate 4. View of agaves and sandstone wall to be retained. .
Facing north. A. C. Cole, July 2006



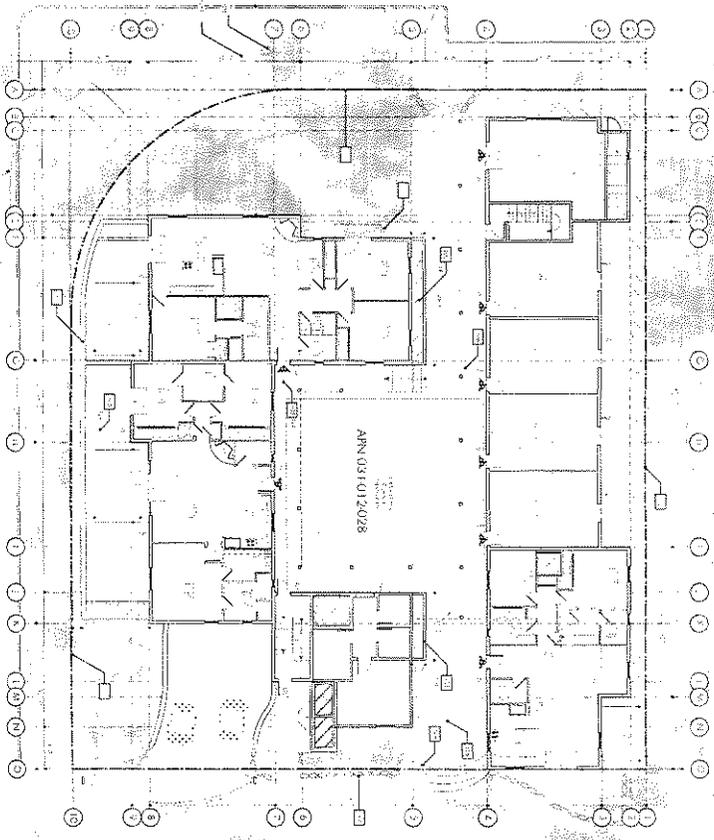
800 Santa Barbara Street

PRELIMINARY NOTES	CODE ANALYSIS	BUILDING STATISTICS	SITE STATISTICS	PROJECT DESCRIPTION
<p>1. THIS PROJECT IS SUBJECT TO THE CITY OF SANTA BARBARA'S ZONING ORDINANCES AND THE CITY ENGINEER'S REVIEW AND APPROVAL. THE PROJECT IS SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.</p> <p>2. THE PROJECT IS SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.</p>	<p>GENERAL NOTES:</p> <p>1. THE PROJECT IS SUBJECT TO THE CITY OF SANTA BARBARA'S ZONING ORDINANCES AND THE CITY ENGINEER'S REVIEW AND APPROVAL.</p> <p>2. THE PROJECT IS SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.</p>	<p>GENERAL NOTES:</p> <p>1. THE PROJECT IS SUBJECT TO THE CITY OF SANTA BARBARA'S ZONING ORDINANCES AND THE CITY ENGINEER'S REVIEW AND APPROVAL.</p> <p>2. THE PROJECT IS SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.</p>	<p>GENERAL NOTES:</p> <p>1. THE PROJECT IS SUBJECT TO THE CITY OF SANTA BARBARA'S ZONING ORDINANCES AND THE CITY ENGINEER'S REVIEW AND APPROVAL.</p> <p>2. THE PROJECT IS SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.</p>	<p>GENERAL NOTES:</p> <p>1. THE PROJECT IS SUBJECT TO THE CITY OF SANTA BARBARA'S ZONING ORDINANCES AND THE CITY ENGINEER'S REVIEW AND APPROVAL.</p> <p>2. THE PROJECT IS SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.</p>

Proposed Mixed Use project for:
800 Santa Barbara Street LLC
 800 Santa Barbara Street
 Santa Barbara, CA 93101



<p>PROJECT DESCRIPTION</p> <p>800 Santa Barbara Street LLC 800 Santa Barbara Street Santa Barbara, CA 93101</p>	<p>DATE</p> <p>12/15/2011</p>	<p>SCALE</p> <p>A-000</p>
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APN 031012028

APN 031012028

CONSTRUCTION NOTES

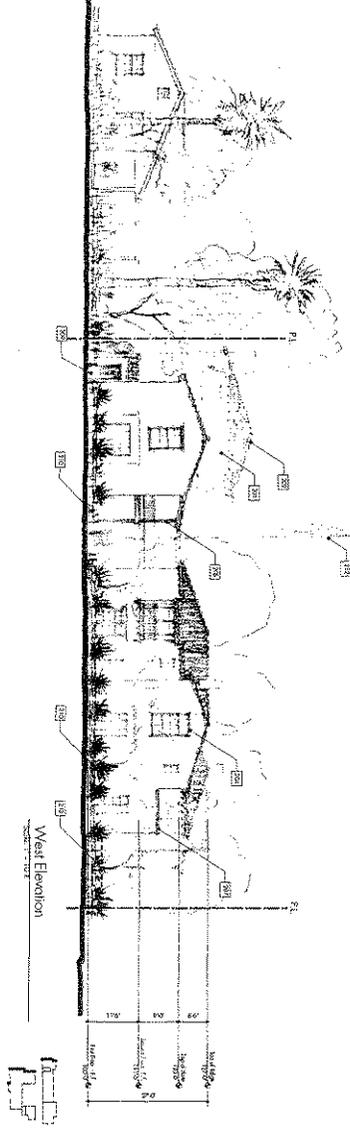
1. See General Notes.
2. See Structural Notes.
3. See Mechanical Notes.
4. See Electrical Notes.
5. See Plumbing Notes.
6. See Fire Protection Notes.
7. See Civil Notes.
8. See Landscape Notes.
9. See Site Notes.
10. See Foundation Notes.
11. See Foundation Notes.
12. See Foundation Notes.

Site / First Floor Plan

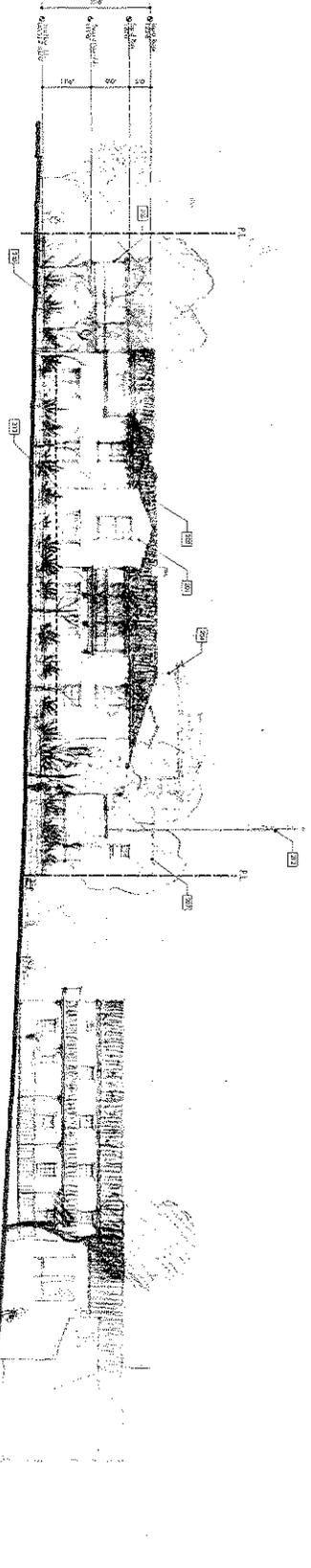
SHEET A-101 OF	Proposed Mixed Use project for: 800 Santa Barbara Street LLC 800 Santa Barbara Street Santa Barbara, CA 93101		
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CONSTRUCTION NOTES

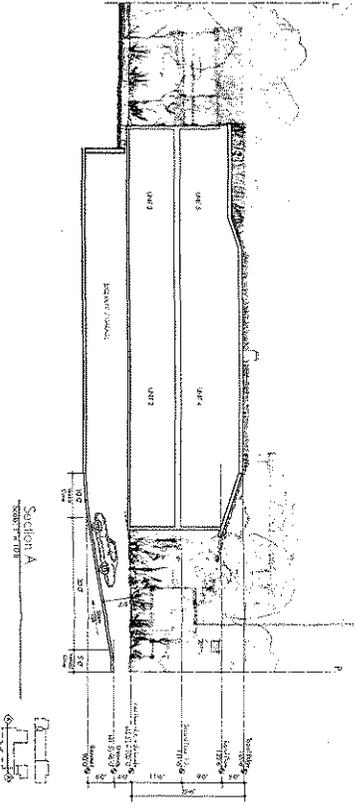
1. SEE ALL NOTES ON ALL SHEETS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL STANDARDS.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ACCESSIBILITY STANDARDS.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENERGY EFFICIENCY STANDARDS.



West Elevation



South Elevation



Section A

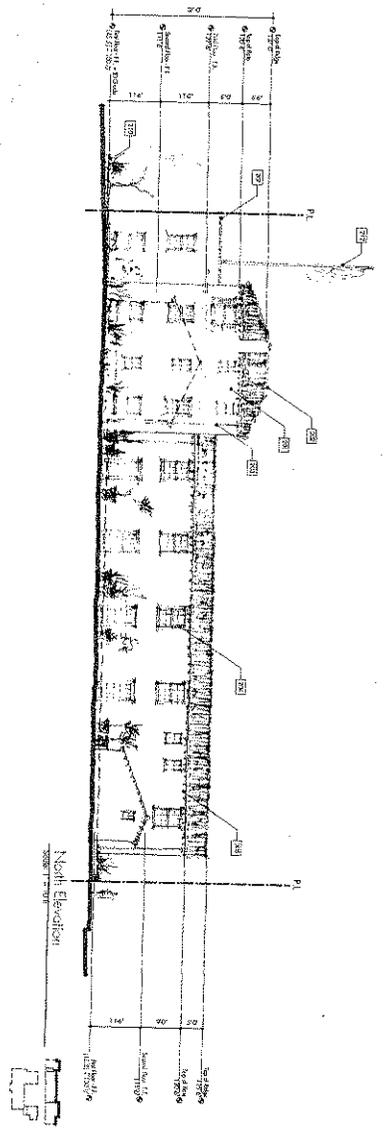
DATE: 05/20/2018	PROJECT: 800 Santa Barbara Street LLC
DRAWN BY: J. L. [Name]	CHECKED BY: [Name]
SCALE: AS SHOWN	PROJECT NO: [Number]
DATE: 05/20/2018	PROJECT: 800 Santa Barbara Street LLC
DRAWN BY: J. L. [Name]	CHECKED BY: [Name]
SCALE: AS SHOWN	PROJECT NO: [Number]

Proposed Mixed-Use project for:
800 Santa Barbara Street LLC
 800 Santa Barbara Street
 Santa Barbara, CA 93101

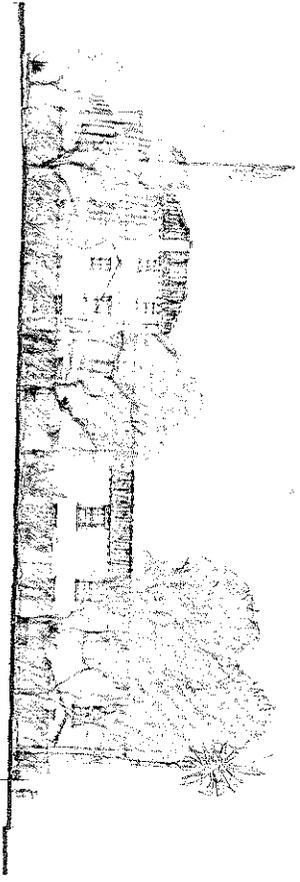


CONSTRUCTION NOTE

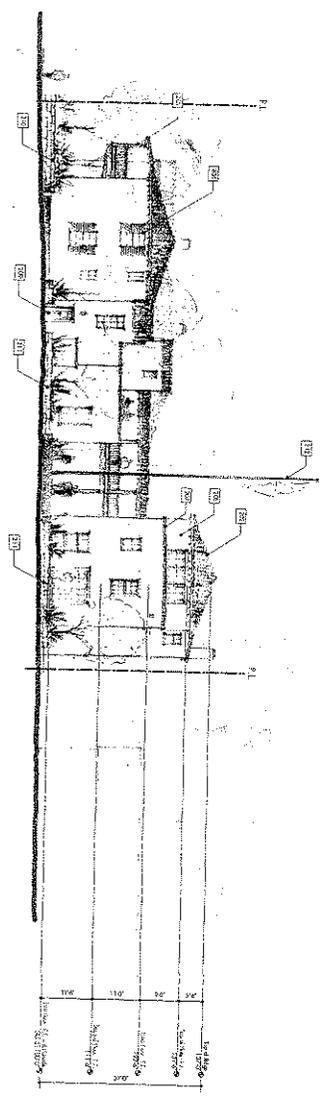
1. REFER TO ALL DRAWINGS FOR THE PROJECT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.



North Elevation



North Elevation from Autecpa School w/ Landscaping

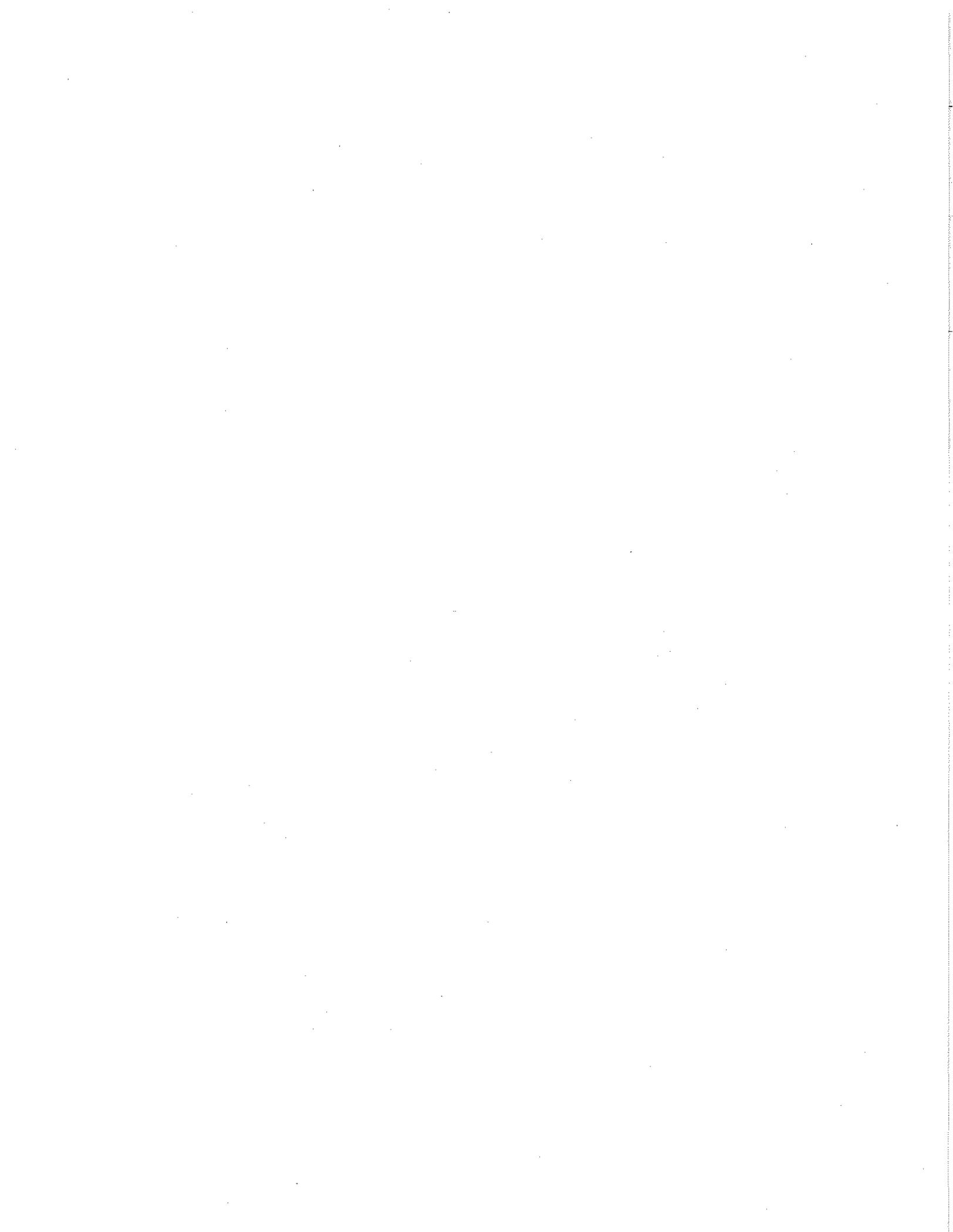


East Elevation

DATE	01/00
BY	PKS
CHECKED	PKS
SCALE	AS SHOWN
PROJECT	800 Santa Barbara Street LLC
ADDRESS	800 Santa Barbara Street Santa Barbara, CA 93101
OWNER	800 Santa Barbara Street LLC
ARCHITECT	PKS ARCHITECTS
NO. OF SHEETS	1
SHEET NO.	A-202



Proposed Mixed-Use project for:
800 Santa Barbara Street LLC
 800 Santa Barbara Street
 Santa Barbara, CA 93101





Fire Department

"Serving the community since 1926"

4410 Cathedral Oaks Road
Santa Barbara, CA 93110-1042
(805) 681-5500 FAX (805) 681-5563

John M. Scherrei
Fire Chief
County Fire Warden

October 12, 2007

Ms. Irma Unzueta
City of Santa Barbara
Community Development Department, Planning Division
P.O. Box 1990
Santa Barbara, CA 93102-1990

Dear Ms. Unzueta:

Subject: APN #: 031-012-028
800 Santa Barbara Street, Santa Barbara, CA

The Santa Barbara County Fire Department Fire Prevention Division (FPD) Site Mitigation Unit (SMU) has reviewed the files for sites in the vicinity of the subject address. This review has indicated that shallow groundwater beneath the site may be contaminated with chlorinated solvents sourced from an up-gradient or cross-gradient source. Due to the presence of these chemicals in shallow groundwater, FPD requests that the City of Santa Barbara place the following conditions on redevelopment of the property:

- (1) Prior to any redevelopment, the applicant shall either (a) perform a soil vapor survey and human health risk assessment under FPD over site or (b) develop an engineered control to mitigate potential vapor intrusion into any planned on-site building using a method acceptable to FPD and consistent with the Interim Final Guidance for the Evaluation and Mitigation of Subsurface Vapor Intrusion to Indoor Air (Department of Toxic Substances Control, Dec. 15, 2004; revised February 7, 2005 or the most recent update to this document). Note that if option 1a is selected, if the results indicate a potential unacceptable risk due to vapor intrusion, engineered vapor mitigation for a future building may still be required.
- (2) Condition 1a or 1b shall be completed in a manner acceptable to FPD prior to issuance of a construction permit for the site.

Submit any correspondence regarding this site to my attention at: Santa Barbara County Fire Department, Fire Prevention Division, 195 West Highway 246, Buellton, CA 93427. Please do not hesitate to contact me at (805) 686-8142 if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Nathan P. West', written over a horizontal line.

Nathan P. West
Hazardous Materials Specialist

RECEIVED

OCT 17 2007

CITY OF SANTA BARBARA
PLANNING DIVISION



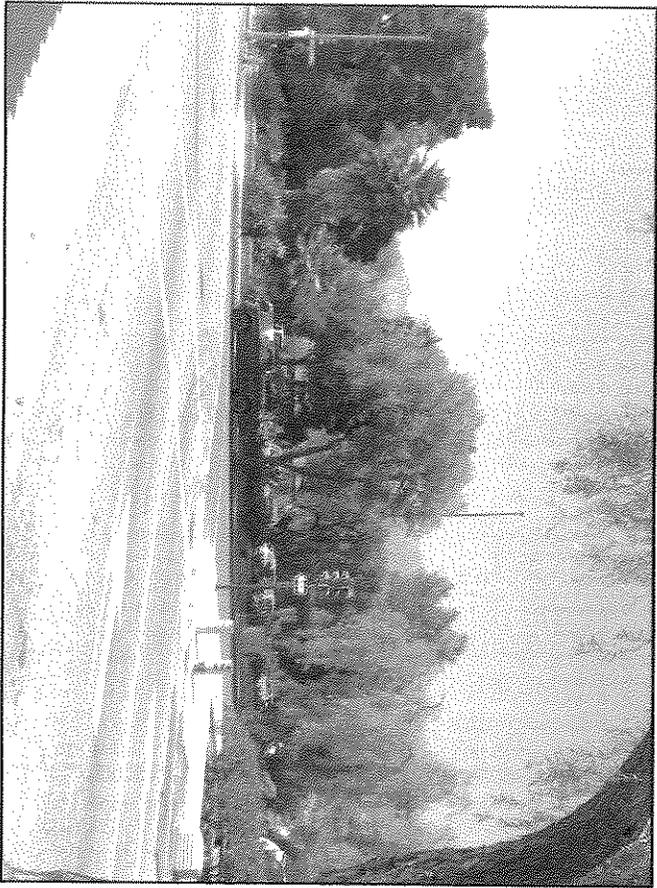
View from De la Guerra Approaching Site - Existing Condition



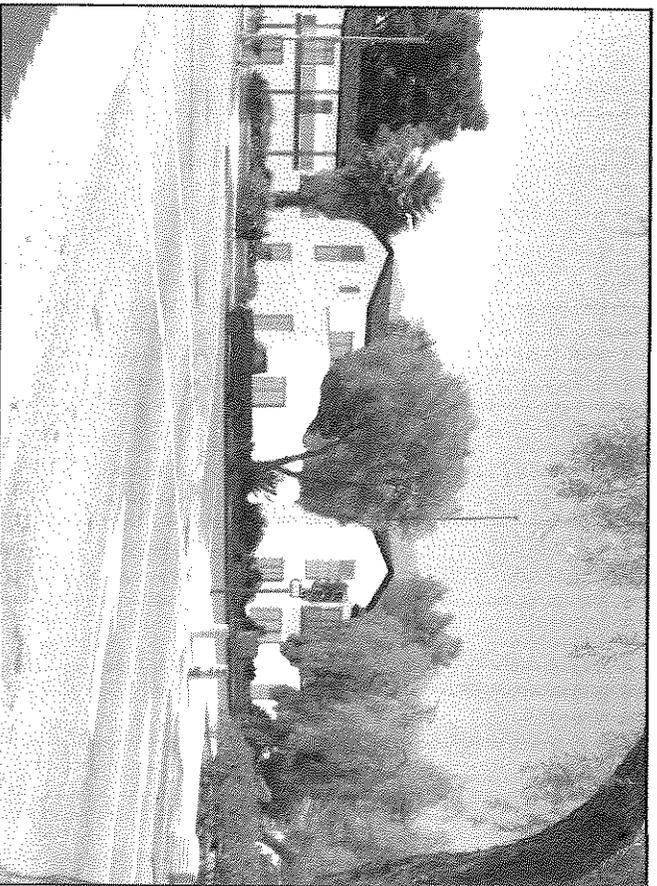
View from De la Guerra Approaching Site - Proposed Building w/ Palm Tree to Remain & With Partially Simulated Mountain Range Beyond

Photo Documentation

Project Name: 800 Santa Barbara Street
 Project #: 05006
 Date: 8/16/07
 For: DART #2 Submittal



View from Historical Museum - Existing Condition



View from Historical Museum - Proposed Building w/ Palm & Olive Trees to Remain

Photo Documentation

Project Name: 800 Santa Barbara Street
Project #: 05006
Date: 8/16/07
For: DAPT #2 Submittal



View from De la Guerra Approaching Site - Proposed Project

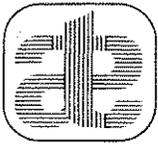


View from Historical Museum - Proposed Project

Photo Documentation

Project Name: 800 Santa Barbara Street
Project #: 050006
Date: 8/16/07
For: D&RT #2 Submittal





ASSOCIATED TRANSPORTATION ENGINEERS

100 N. Hope Avenue, Suite 4, Santa Barbara, CA 93110 • (805) 687-4418 • FAX (805) 682-8509

Richard L. Pool, P.E.
Scott A. Schell, AICP



September 12, 2007

04167L05.wpd

Trish Allen
SEPPS
800 Santa Barbara Street
Santa Barbara, CA 93101

TRIP GENERATION AND INTERSECTION IMPACT ANALYSIS FOR THE 800 SANTA BARBARA STREET MIXED-USE PROJECT - CITY OF SANTA BARBARA

Associated Transportation Engineers (ATE) has prepared the following trip generation and intersection impact analysis for the 800 Santa Barbara Street Mixed-Use Project, located in the City of Santa Barbara.

PROJECT DESCRIPTION

The project site is located at the northeast corner of the Santa Barbara Street/De La Guerra Street intersection in the City of Santa Barbara. The project is proposing to develop a mixed-use development comprised of 6 condominium units and 5,220 square feet (SF) of office space (gross). The project site currently contains a 2,111 SF office building (gross).

PROJECT TRIP GENERATION

A trip generation analysis was completed to determine the level of traffic that would be generated by the proposed development compared to the baseline level of traffic that is currently generated by the existing office building. This analysis has been completed to determine whether additional traffic data is needed for the project. The trip generation analysis is based on building floor area measured in gross square-feet (GSF), consistent with the Institute of Transportation Engineers (ITE) methodology. The trip generation rates and assumptions used to determine trip estimates for the existing and proposed site uses are listed below.

Office. The trip rates presented in the ITE Trip Generation Report (7th Edition and 5th Edition) for General Office (Land Use Code #710) were used for this component of the project. The equation rates from the 7th Edition ITE report were used to estimate average daily and A.M. peak hour trips. The equation rates from the 5th Edition ITE Report ¹ were used to estimate P.M. peak hour trips. The P.M. peak hour equations from the 5th Edition were used because the equations contained in the 7th Edition report are faulty for small size office projects.

Condominiums. The ITE average rates for Residential Condominium/Townhouse (Land Use Code #230) were used for the residential component of the project.

Table 1 compares the trip generation estimates developed for the existing and proposed site uses.

Table 1
Existing and Proposed Land Uses Trip Generation Comparison

Land Use	Size	Average Daily		A.M. Peak Hour		P.M. Peak Hour	
		Rate (a)	Trips	Rate (a)	Trips	Rate (a)	Trips
<u>Proposed Use</u>							
Condominiums	6 Units	5.86	35	0.44	3	0.52	3
Office	5,220 GSF	22.66	<u>119</u>	2.97	<u>16</u>	3.40	<u>18</u>
Subtotal			154		19		21
<u>Existing Use</u>							
Office	-2,111 GSF	22.66	-48	2.97	-6	3.4	-7
Net Change			106		13		14

(a) Rates apply to 1,000 GSF of building area.

The data presented in Table 1 show that the proposed project would result in a net increase of 106 ADT, 13 A.M. peak hour trips, and 14 P.M. peak hour trips.

Trip Distribution

Trip distribution percentages were developed for the net traffic generated by the proposed project based on existing traffic patterns observed in the study area. Trip distribution percentages are shown on Figure 1 (attached).

¹ Trip Generation, Institute of Transportation Engineers 5th Edition, 1997.

TRAFFIC ANALYSIS REQUIREMENTS

The City of Santa Barbara's practice of assessing project-specific and cumulative traffic impacts involves distributing and assigning 5 or more vehicle trips through the intersections located adjacent to the project site. This practice provides a statistical certainty for determining project-generated traffic additions at critical intersections on a day-to-day basis.

Table 3 identifies the study-area intersections where the number of net project-added trips would equal or exceed the 5-trip threshold during the A.M. and P.M. peak hour period. Figure 1 (attached) shows the project-added traffic to the surrounding street network.

Table 3
Intersection Project-Added Trips

Intersection	Project Added A.M. Peak Hour Trips	Project Added P.M. Peak Hour Trips
Anacapa Street/Carrillo Street	5 Trips	5 Trips
Santa Barbara Street/Carrillo Street	< 5 Trips	5 Trips
Santa Barbara Street/De La Guerra Street	7 Trips	7 Trips
Garden Street/De La Guerra Street	6 Trips	7 Trips

As shown in Table 3, the proposed project would add 5 or more peak hour trips to the Anacapa Street/Carrillo Street, Santa Barbara Street/Carrillo Street, Santa Barbara Street/De La Guerra Street, and Garden Street/De La Guerra Street intersections. It is noted that the proposed project would not have the potential to impact the Santa Barbara Street/Carrillo Street intersection during the A.M. peak hour based on the City's practice of determining project-specific impacts.

PROJECT-SPECIFIC ANALYSIS

Existing Traffic Volumes

ATE conducted A.M. and P.M. peak hour turning movement counts at the intersections listed in Table 3 in late August and early September, 2007 to determine intersection operations under existing and existing + project conditions. Figures 2 and 3 (attached) present the existing peak hour traffic volumes, and Figures 4 and 5 show the existing + project volumes.

Intersection Operations

Levels of service (LOS) for the signalized intersections were calculated based on the "Intersection Capacity Utilization" (ICU) methodology. Levels of service were calculated for unsignalized intersections using the methodology outlined in the Highway Capacity Manual (HCM)² and are based on the weighted delay for the stop-sign controlled movements. It is noted that P.M. peak hour traffic volumes and level of service for the Anacapa Street/Carrillo Street intersection were taken from the Congestion Management Plan (CMP) monitoring report that was recently published by the Santa Barbara County Association of Governments (SBCAG). Tables 4 and 5 list the existing and existing + project levels of service and identifies project-specific impacts (LOS calculation worksheets are attached for reference).

Table 4
Existing + Project A.M. Peak Hour Level Of Service

Intersection	Control	Existing		Existing + Project		Impact?
		V/C	LOS	V/C	LOS	
Anacapa Street/Carrillo Street	Signal	0.47	A	0.47	A	NO
Santa Barbara Street/Carrillo Street (a)	Signal	-	-	-	-	NO
Santa Barbara Street/De La Guerra Street	Signal	0.31	A	0.32	A	NO
Garden Street/De La Guerra Street	All-Way Stop	10.6 Sec.	B	10.6 Sec.	B	NO

(a) The project does not generate potential impacts to this intersection in the A.M. peak hour. Therefore no A.M. peak hour analysis was completed.

²2000 Highway Capacity Manual, Transportation Research Board, National Research Council, 2000.

Table 4
Existing + Project P.M. Peak Hour Level Of Service

Intersection	Control	Existing		Existing + Project		Impact?
		V/C	LOS	V/C	LOS	
Anacapa Street/Carrillo Street	Signal	0.68	B	0.68	B	NO
Santa Barbara Street/Carrillo Street	Signal	0.50	A	0.50	A	NO
Santa Barbara Street/De La Guerra Street	Signal	0.42	A	0.43	A	NO
Garden Street/De La Guerra Street	All-Way Stop	13.2 Sec.	B	13.3 Sec.	B	NO

The data shown in Tables 3 and 4 show that the study-area intersections would operate at LOS A or B with the addition of project traffic. The proposed project would not generate impacts to the study-area intersections based on City thresholds.

This concludes our trip generation and intersection impact analysis for the 800 Santa Barbara Street Mixed-Use Project.

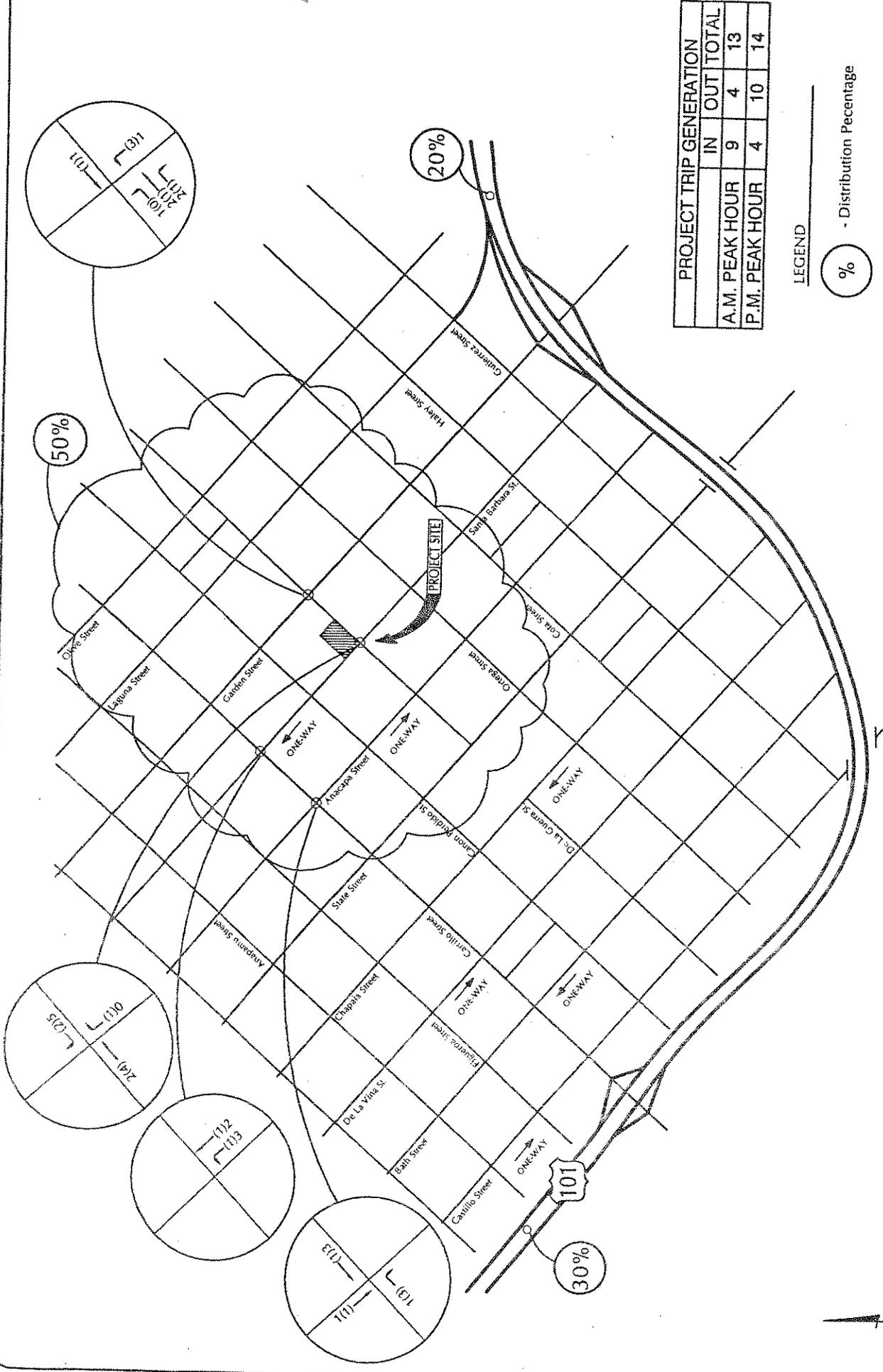
Associated Transportation Engineers



Scott A. Schell, AICP
 Principal Transportation Planner

SAS/MMF

- Attachments: Figure 1 – Project Trip Distribution And Assignment
- Figure 2 – Existing A.M. Peak Hour Traffic Volumes
- Figure 3 – Existing P.M. Peak Hour Traffic Volumes
- Figure 4 – Existing + Project A.M. Peak Hour Traffic Volumes
- Figure 5 – Existing + Project P.M. Peak Hour Traffic Volumes
- Intersection LOS Calculation Worksheets



PROJECT TRIP GENERATION			
	IN	OUT	TOTAL
A.M. PEAK HOUR	9	4	13
P.M. PEAK HOUR	4	10	14

LEGEND

○ - Distribution Percentage

⌒ - (A.M.)P.M. Peak Hour Volume

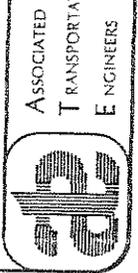
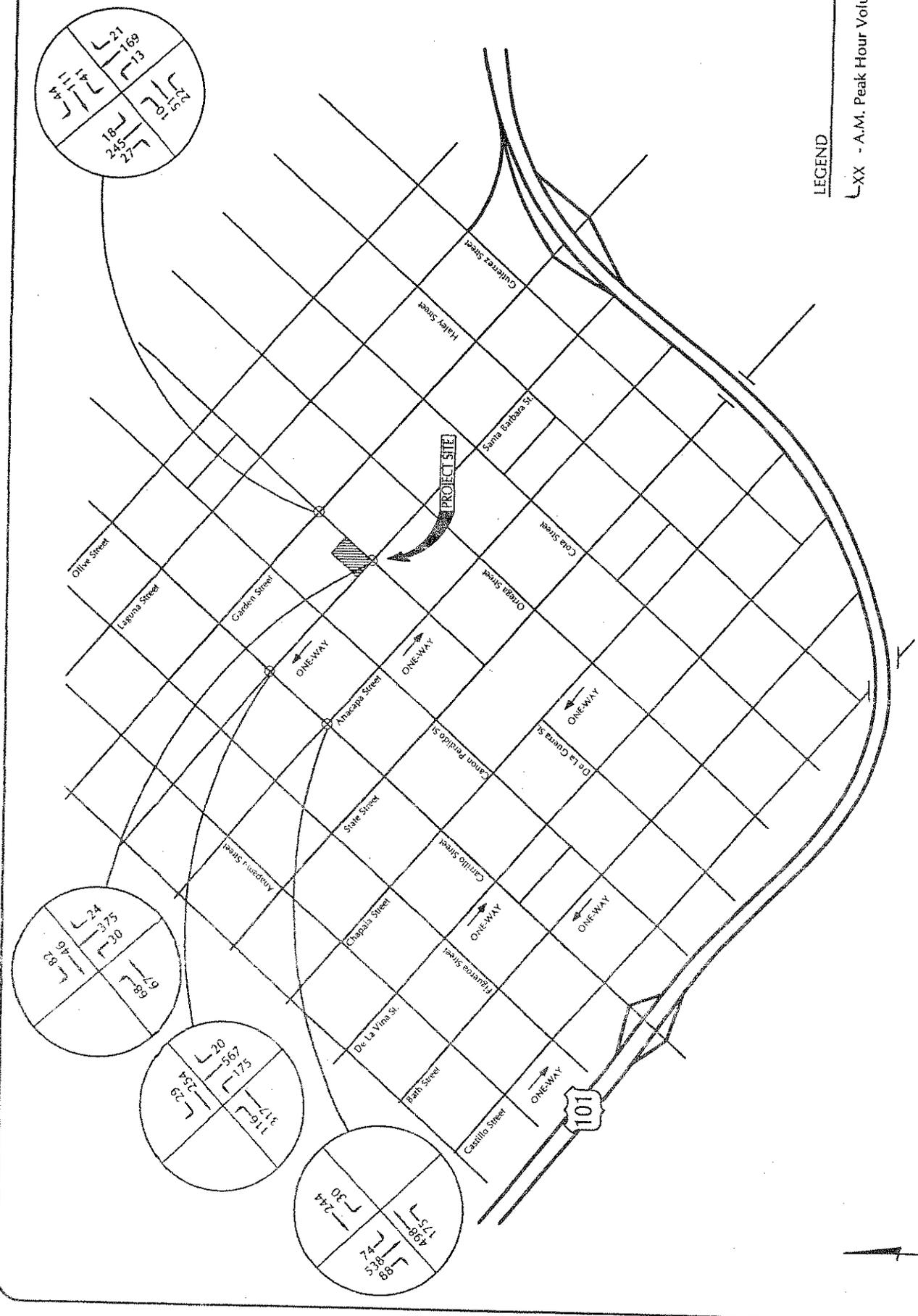


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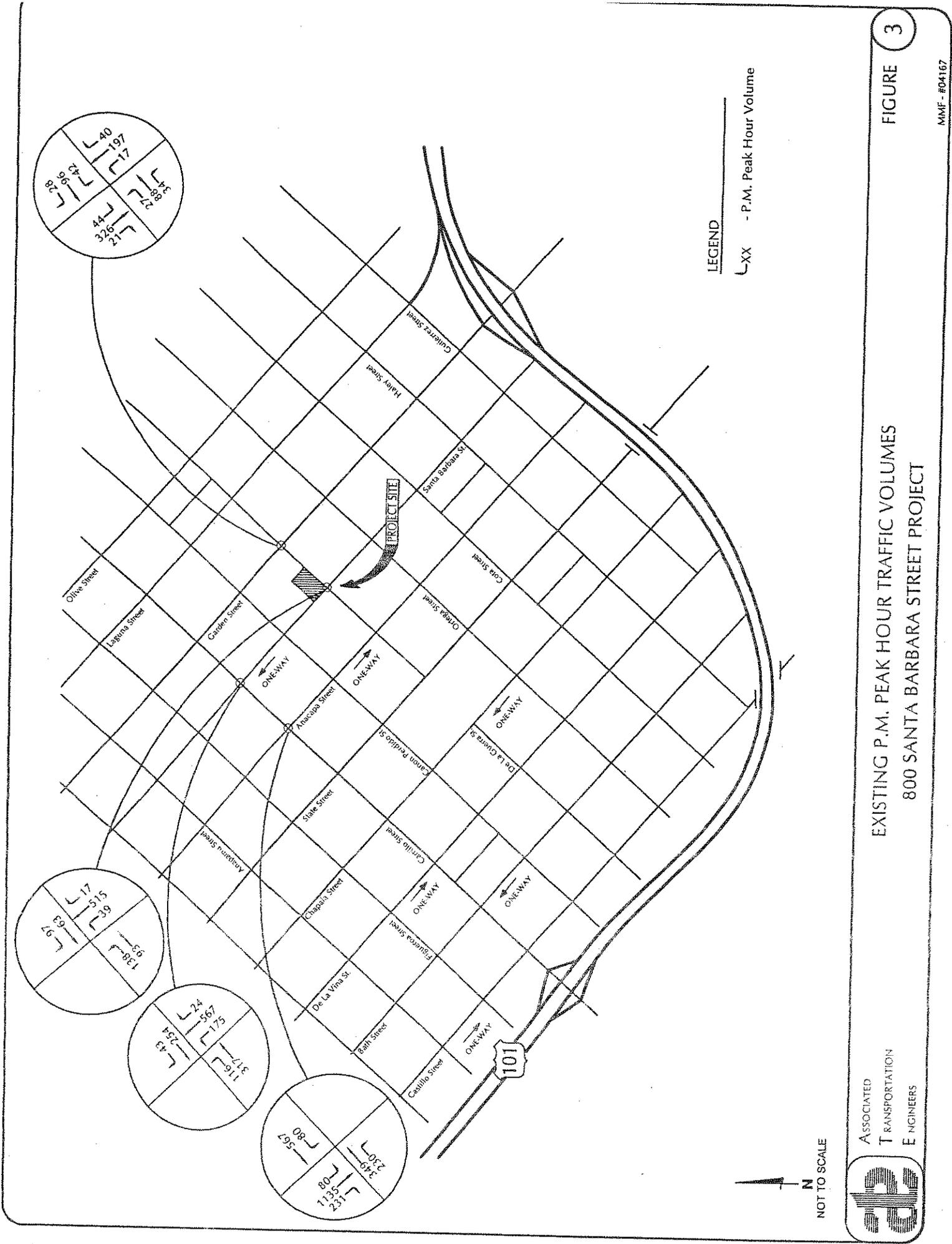
PROJECT TRIP DISTRIBUTION AND ASSIGNMENT
800 SANTA BARBARA STREET PROJECT

EXISTING A.M. PEAK HOUR TRAFFIC VOLUMES
800 SANTA BARBARA STREET PROJECT

MMF - #04167

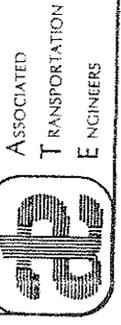


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EXISTING P.M. PEAK HOUR TRAFFIC VOLUMES
 800 SANTA BARBARA STREET PROJECT

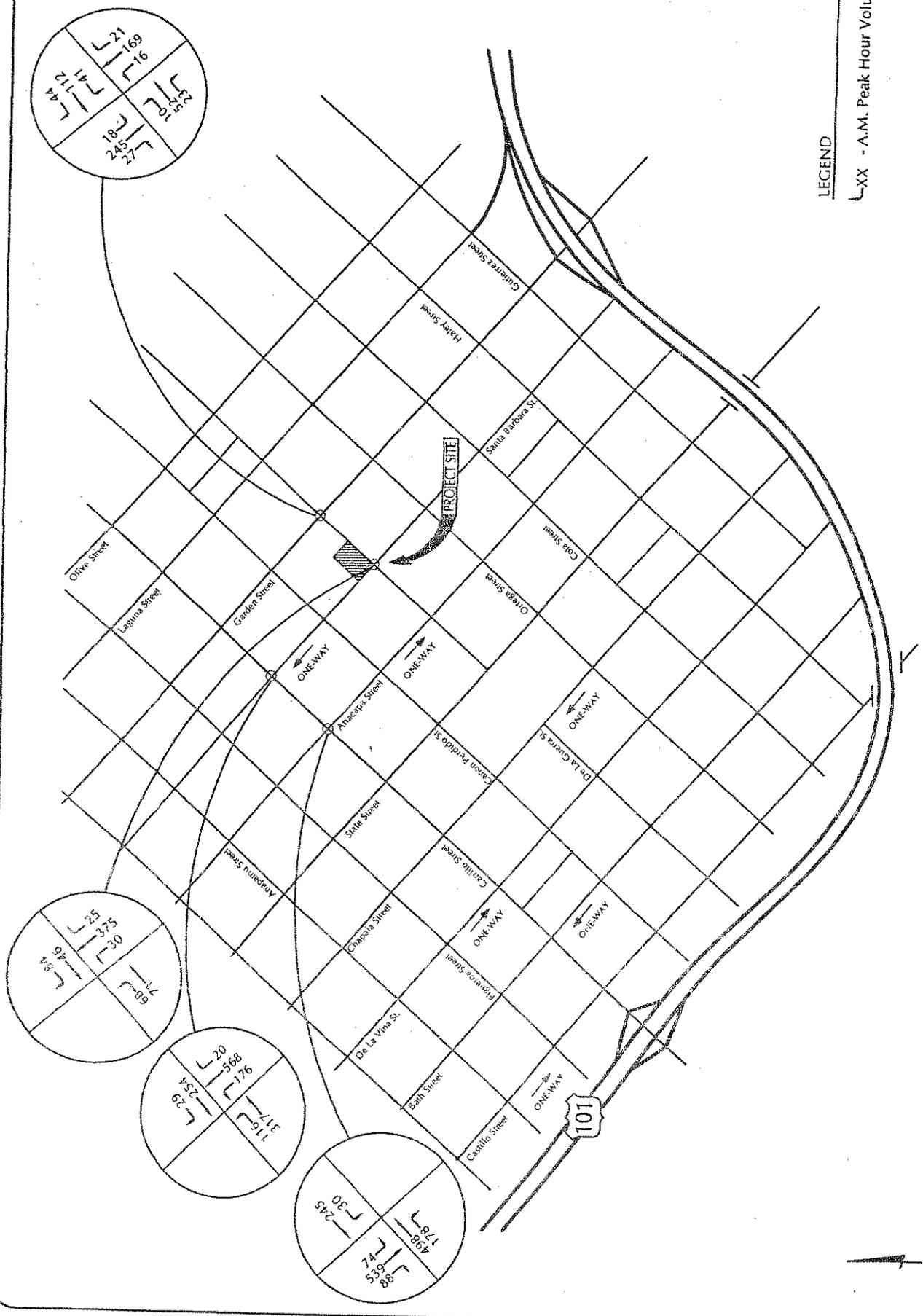
EXISTING + PROJECT A.M. PEAK HOUR TRAFFIC VOLUMES
800 SANTA BARBARA STREET PROJECT

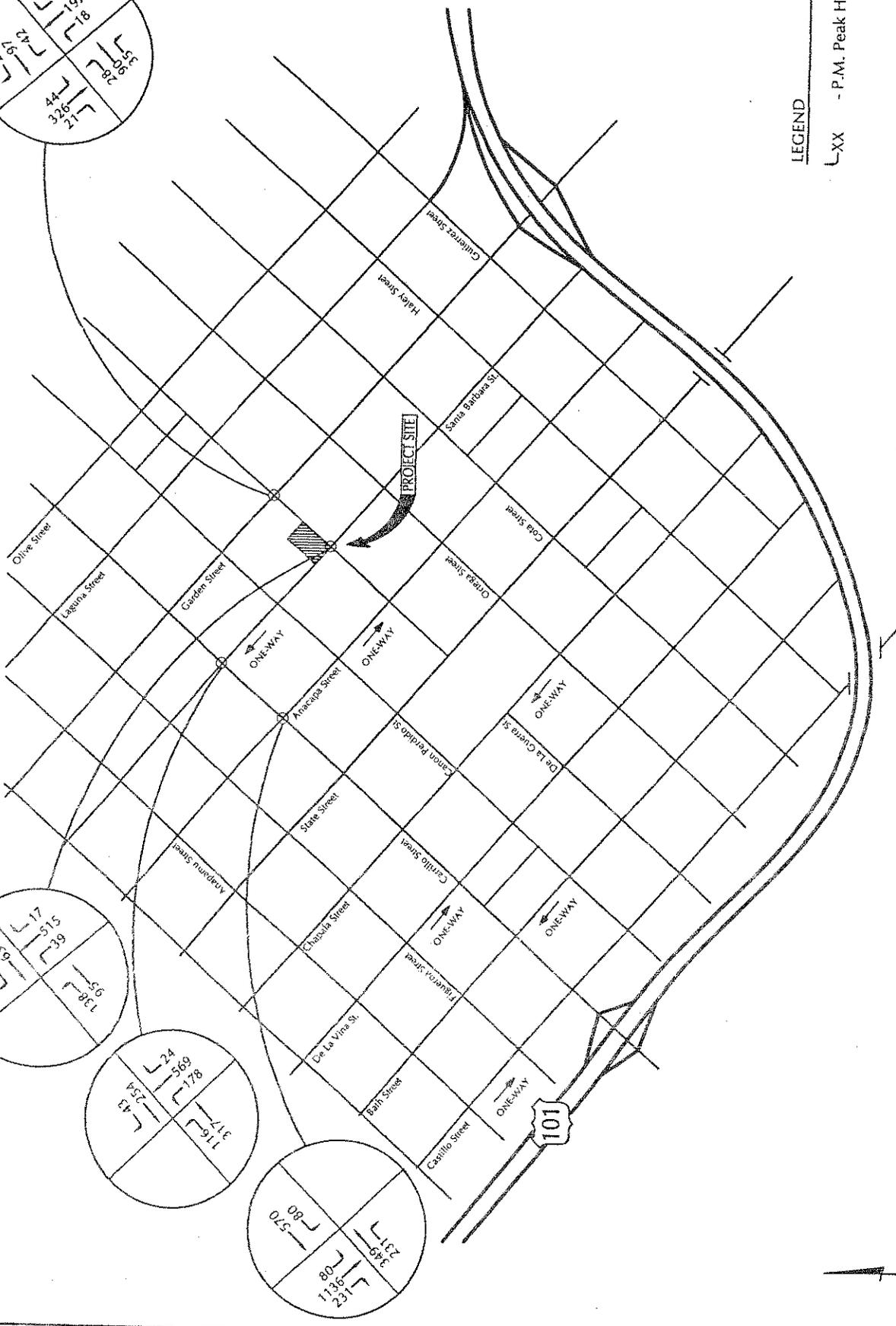
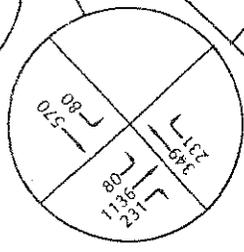
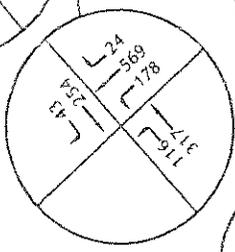
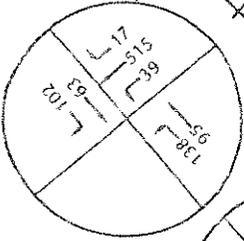
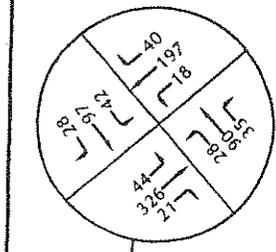


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LEGEND
L-XX - A.M. Peak Hour Volume

NOT TO SCALE
N





LEGEND

L-XX - P.M. Peak Hour Volume

N
NOT TO SCALE



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EXISTING + PROJECT P.M. PEAK HOUR TRAFFIC VOLUMES
800 SANTA BARBARA STREET PROJECT

NAME: 800 SANTA BARBARA STREET
INTERSECTION CAPACITY UTILIZATION WORKSHEET
COUNT DATE: 08-30/2007
TIME PERIOD: 7:00AM - 9:00AM
N/S STREET: ANACAPA STREET
E/W STREET: CARRILLO STREET
CONTROL TYPE: SIGNAL

REFERENCE 01 AM

TRAFFIC VOLUME SUMMARY

VOLUMES	NORTH BOUND			SOUTH BOUND			EAST BOUND			WEST BOUND		
	L	T	R	L	T	R	L	T	R	L	T	R
(A) EXISTING	0	0	0	74	538	88	0	498	175	30	244	0
(B) PROJECT	0	0	0	0	1	0	0	0	3	0	1	0

GEOMETRICS

EXISTING GEOMETRICS	NORTH BOUND	SOUTH BOUND	EAST BOUND	WEST BOUND
	LT TR	LT TR	TT R	LT T

TRAFFIC SCENARIOS

SCENARIO 1: EXISTING (A)
 SCENARIO 2: EXISTING+PROJECT (A+B)

LEVEL OF SERVICE CALCULATIONS

MOVE-MENTS	# OF LANES	CAPACITY	SCENARIO VOLUMES				SCENARIO V/C RATIOS						
			1	2	3	4	1	2	3	4			
NBL	0	0	0	0				0.00	0.00				
NBT	0	0	0	0				0.00	0.00				
NBR	0	0	0	0				0.00	0.00				
SBL	0	0	74	74				0.00	0.00				
SBT	2	3200	538	539				0.19 *	0.19 *				
SBR (a)	1	1600	76	76				0.05	0.05				
EBL	0	0	0	0				0.00	0.00				
EBT	2	3200	498	498				0.15 *	0.16 *				
EBR (b)	1	1600	128	130				0.08	0.08				
WBL ©	1	1600	30	30				0.02 *	0.02 *				
WBT	2	3200	244	245				0.08	0.08				
WBR	0	0	0	0				0.00	0.00				
LOST TIME:								0.10 *	0.10 *				
INTERSECTION CAPACITY UTILIZATION:								0.47	0.47				
LEVEL OF SERVICE:								A	A				

NOTES:

(a) 14% RTOR
 (b) 27% RTOR
 © Left Turn Critical, Assigned to EB #2 Lane

NAME: 800 SANTA BARBARA STREET
 INTERSECTION CAPACITY UTILIZATION WORKSHEET
 COUNT DATE: 08-30/2007
 TIME PERIOD: 4:00PM - 6:00PM
 N/S STREET: ANACAPA STREET
 E/W STREET: CARRILLO STREET
 CONTROL TYPE: SIGNAL

REFERENCE 01 PM

TRAFFIC VOLUME SUMMARY

VOLUMES	NORTH BOUND			SOUTH BOUND			EAST BOUND			WEST BOUND		
	L	T	R	L	T	R	L	T	R	L	T	R
(A) EXISTING	0	0	0	80	1135	238	0	349	286	80	567	0
(B) PROJECT	0	0	0	0	1	0	0	0	1	0	3	0

GEOMETRICS

EXISTING GEOMETRICS	NORTH BOUND	SOUTH BOUND	EAST BOUND	WEST BOUND
		LT TR	T TR	TL T

TRAFFIC SCENARIOS

SCENARIO 1: EXISTING (A)
 SCENARIO 2: EXISTING+PROJECT (A+B)

LEVEL OF SERVICE CALCULATIONS

MOVE- MENTS	# OF LANES	CAPACITY	SCENARIO VOLUMES				SCENARIO V/C RATIOS					
			1	2	3	4	1	2	3	4		
NBL	0	0	0	0	0	0	0.00	0.00				
NBT	0	0	0	0	0	0	0.00	0.00				
NBR	0	0	0	0	0	0	0.00	0.00				
SBL	0	0	80	80	80	80	0.00	0.00				
SBT	2	3200	1135	1136	1135	1136	0.38	0.38				
SBR (a)	1	1600	231	231	238	238	0.14	0.14				
EBL	0	0	0	0	0	0	0.00	0.00				
EBT	2	3200	349	349	349	349	0.11	0.11				
EBR (b)	1	1600	229	230	286	287	0.14	0.14				
WBL	0	0	80	80	80	80	0.00	0.00				
WBT	2	3200	567	570	567	570	0.20	0.20				
WBR	0	0	0	0	0	0	0.00	0.00				
LOST TIME:							0.10	0.10				
INTERSECTION CAPACITY UTILIZATION:							0.68	0.68				
LEVEL OF SERVICE:							B	B				

NOTES:

(a) 3% RTOR
 (b) 20% RTOR

800 SANTA BARBARA STREET #04167

REFERENCE #02PM

INTERSECTION CAPACITY UTILIZATION WORKSHEET

COUNT DATE: 08/30/07

TIME PERIOD: 4:00PM - 6:00PM

N/S STREET: SANTA BARBARA SREET

EW STREET: CARRILLO STREET

CONTROL TYPE: SIGNAL

TRAFFIC VOLUME SUMMARY

VOLUMES	NORTH BOUND			SOUTH BOUND			EAST BOUND			WEST BOUND		
	L	T	R	L	T	R	L	T	R	L	T	R
(A) EXISTING	175	567	24	0	0	0	116	317	0	0	254	43
(B) PROJECT	3	2	0	0	0	0	0	0	0	0	0	0

GEOMETRICS

GEOMETRICS	NORTH BOUND		SOUTH BOUND		EAST BOUND		WEST BOUND	
	LT	TR	LT	TR	LT	T	T	TR

TRAFFIC SCENARIOS

SCENARIO 1: EXISTING (A)
 SCENARIO 2: EXISTING + PROJECT (A+B)

LEVEL OF SERVICE CALCULATIONS

MOVE-MENTS	# OF LANES	CAPACITY	SCENARIO VOLUMES				SCENARIO V/C RATIOS					
			1	2	3	4	1	2	3	4		
NBL	0	0	175	178			0.00	0.00				
NBT	2	3200	567	569			0.24	0.24				
NBR (a)	0	0	20	20			0.00	0.00				
SBL	0	0	0	0			0.00	0.00				
SBT	0	0	0	0			0.00	0.00				
SBR	0	0	0	0			0.00	0.00				
EBL (b)	1	1600	116	116			0.07	0.07				
EBT	2	3200	317	317			0.10	0.10				
EBR	0	0	0	0			0.00	0.00				
WBL	0	0	0	0			0.00	0.00				
WBT	2	3200	254	254			0.09	0.09				
WBR (c)	0	0	29	29			0.00	0.00				
LOST TIME:							0.10	0.10				
INTERSECTION CAPACITY UTILIZATION:							0.50	0.50				
LEVEL OF SERVICE:							A	A				

NOTES:

- (a) 17% RTOR
- (b) LEFT TURN CRITICAL, ASSIGNED TO EB #2 LANE
- (c) 33% RTOR

NAME: 800 SANTA BARBARA STREET
INTERSECTION CAPACITY UTILIZATION WORKSHEET
COUNT DATE: 09- 5-2007
TIME PERIOD: 7:00AM - 9:00AM
N/S STREET: SANTA BARBARA STREET
E/W STREET: DE LA GUERRA STREET
CONTROL TYPE: SIGNAL

REFERENCE 03 AM

TRAFFIC VOLUME SUMMARY

VOLUMES	NORTH BOUND			SOUTH BOUND			EAST BOUND			WEST BOUND		
	L	T	R	L	T	R	L	T	R	L	T	R
(A) EXISTING	30	375	24	0	0	0	68	67	0	0	46	82
(B) PROJECT	0	0	1	0	0	0	0	4	0	0	0	2

GEOMETRICS

EXISTING GEOMETRICS	NORTH BOUND		SOUTH BOUND	EAST BOUND	WEST BOUND
	LT	RT		LT	T R

TRAFFIC SCENARIOS

SCENARIO 1: EXISTING (A)
 SCENARIO 2: EXISTING+PROJECT (A+B)

LEVEL OF SERVICE CALCULATIONS

MOVE- MENTS	# OF LANES	CAPACITY	SCENARIO VOLUMES				SCENARIO V/C RATIOS					
			1	2	3	4	1	2	3	4		
NBL	0	0	30	30			0.00	0.00				
NBT	2	3200	375	375			0.13	0.13				
NBR	0	0	24	25			0.00	0.00				
SBL	0	0	0	0			0.00	0.00				
SBT	0	0	0	0			0.00	0.00				
SBR	0	0	0	0			0.00	0.00				
EBL	0	0	68	68			0.00	0.00				
EBT	1	1600	67	71			0.08	0.09				
EBR	0	0	0	0			0.00	0.00				
WBL	0	0	0	0			0.00	0.00				
WBT	1	1600	46	46			0.03	0.03				
WBR (a)	1	1600	47	48			0.03	0.03				
LOST TIME:							0.10	0.10				
INTERSECTION CAPACITY UTILIZATION:							0.31	0.32				
LEVEL OF SERVICE:							A	A				

NOTES:

RTOR: (a) 43%

800 SANTA BARBARA STREET #04167

REFERENCE #03PM

INTERSECTION CAPACITY UTILIZATION WORKSHEET

COUNT DATE: 9-5-2007

TIME PERIOD: 4:00PM - 6:00PM

N/S STREET: SANTA BARBARA SREET

E/W STREET: DE LA GUERRA STREET

CONTROL TYPE: SIGNAL

TRAFFIC VOLUME SUMMARY

VOLUMES	NORTH BOUND			SOUTH BOUND			EAST BOUND			WEST BOUND		
	L	T	R	L	T	R	L	T	R	L	T	R
(A) EXISTING	39	515	17	0	0	0	138	93	0	0	63	97
(B) PROJECT	0	0	0	0	0	0	0	2	0	0	0	5

GEOMETRICS

GEOMETRICS	NORTH BOUND		SOUTH BOUND	EAST BOUND	WEST BOUND	
	LT	RT			LT	TR

TRAFFIC SCENARIOS

SCENARIO 1: EXISTING (A)
 SCENARIO 2: EXISTING + PROJECT (A+B)

LEVEL OF SERVICE CALCULATIONS

MOVE- MENTS	# OF LANES	CAPACITY	SCENARIO VOLUMES				SCENARIO V/C RATIOS					
			1	2	3	4	1	2	3	4		
NBL	0	0	39	39			0.00	0.00				
NBT	2	3200	515	515			0.18 *	0.18 *				
NBR	0	0	17	17			0.00	0.00				
SBL	0	0	0	0			0.00	0.00				
SBT	0	0	0	0			0.00 *	0.00 *				
SBR	0	0	0	0			0.00	0.00				
EBL	0	0	138	138			0.00	0.00				
EBT	1	1600	93	95			0.14 *	0.15 *				
EBR	0	0	0	0			0.00	0.00				
WBL	0	0	0	0			0.00	0.00				
WBT	1	1600	63	63			0.04	0.04				
WBR (a)	1	1600	63	66			0.04	0.04				
LOST TIME:							0.10 *	0.10 *				
INTERSECTION CAPACITY UTILIZATION:							0.42	0.43				
LEVEL OF SERVICE:							A	A				

NOTES:

(a) 35% RTOR

ALL-WAY STOP CONTROL ANALYSIS

General Information		Site Information	
Analyst	EB	Intersection	04 AM EX
Agency/Co.	ATE	Jurisdiction	SANTA BARBARA
Date Performed	9/4/2007	Analysis Year	EXISTING
Analysis Time Period	AM PEAK HOUR		
Project ID 04167			

East/West Street: **DE LA GUERRA STREET** North/South Street: **GARDEN STREET**

Volume Adjustments and Site Characteristics

Approach	Eastbound			Westbound		
	L	T	R	L	T	R
Movement						
Volume (veh/h)	10	51	22	41	111	44
% Thrus Left Lane						

Approach	Northbound			Southbound		
	L	T	R	L	T	R
Movement						
Volume (veh/h)	13	169	21	18	245	27
% Thrus Left Lane						

	Eastbound		Westbound		Northbound		Southbound	
	L1	L2	L1	L2	L1	L2	L1	L2
Configuration	LTR		LTR		LTR		LTR	
PHF	1.00		1.00		1.00		1.00	
Flow Rate (veh/h)	83		196		203		290	
% Heavy Vehicles	4		4		4		4	
No. Lanes	1		1		1		1	
Geometry Group	1		1		1		1	
Duration, T					0.25			

Saturation Headway Adjustment Worksheet

Prop. Left-Turns	0.1		0.2		0.1		0.1	
Prop. Right-Turns	0.3		0.2		0.1		0.1	
Prop. Heavy Vehicle	0.0		0.0		0.0		0.1	
hL T-adj	0.2	0.2	0.2	0.2	0.2	0.2	0.0	0.0
hRT-adj	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6	0.2	0.2
hHV-adj	1.7	1.7	1.7	1.7	1.7	1.7	-0.6	-0.6
adj, computed	-0.1		-0.0		0.0		1.7	1.7
							0.0	0.0

Departure Headway and Service Time

nd, initial value (s)	3.20		3.20		3.20		3.20	
α, initial	0.07		0.17		0.18		0.26	
nd, final value (s)	5.45		5.29		5.12		5.00	
α, final value	0.13		0.29		0.29		0.40	
Move-up time, m (s)	2.0		2.0		2.0		2.0	
Service Time, t _s (s)	3.5		3.3		3.1		3.0	

Capacity and Level of Service

	Eastbound		Westbound		Northbound		Southbound	
	L1	L2	L1	L2	L1	L2	L1	L2
Capacity (veh/h)	333		446		453		540	
Delay (s/veh)	9.24		10.42		10.18		11.34	
LOS	A		B		B		B	
Approach: Delay (s/veh)	9.24		10.42		10.18		11.34	
LOS	A		B		B		B	
Intersection Delay (s/veh)	10.58							
Intersection LOS	B							

ALL-WAY STOP CONTROL ANALYSIS

General Information

Analyst: **EB**
 Agency/Co.: **ATE**
 Date Performed: **9/4/2007**
 Analysis Time Period: **AM PEAK HOUR**

Site Information

Intersection: **04 AM EX+PR**
 Jurisdiction: **SANTA BARBARA**
 Analysis Year: **EXISTING + PROJECT**

Project ID: **04167**

East/West Street: **DE LA GUERRA STREET**

North/South Street: **GARDEN STREET**

Volume Adjustments and Site Characteristics

Approach	Eastbound			Westbound		
	L	T	R	L	T	R
Movement						
Volume (veh/h)	10	52	23	41	112	44
%Thrus Left Lane						

Approach	Northbound			Southbound		
	L	T	R	L	T	R
Movement						
Volume (veh/h)	16	169	21	18	245	27
%Thrus Left Lane						

	Eastbound		Westbound		Northbound		Southbound	
	L1	L2	L1	L2	L1	L2	L1	L2
Configuration	LTR		LTR		LTR		LTR	
PHF	1.00		1.00		1.00		1.00	
Flow Rate (veh/h)	85		197		206		290	
% Heavy Vehicles	4		4		4		4	
No. Lanes	1		1		1		1	
Geometry Group	1		1		1		1	
Duration, T					0.25		0.25	

Saturation Headway Adjustment Worksheet

Prop. Left-Turns	0.1		0.2		0.1		0.1	
Prop. Right-Turns	0.3		0.2		0.1		0.1	
Prop. Heavy Vehicle	0.0		0.0		0.0		0.0	
hLT-adj	0.2	0.2	0.2	0.2	0.2	0.2	0.2	0.2
hRT-adj	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6
hHV-adj	1.7	1.7	1.7	1.7	1.7	1.7	1.7	1.7
hadj, computed	-0.1		-0.0		0.0		0.0	

Departure Headway and Service Time

hd, initial value (s)	3.20		3.20		3.20		3.20	
xs, initial	0.08		0.18		0.18		0.26	
hd, final value (s)	5.47		5.31		5.13		5.02	
xs, final value	0.13		0.29		0.29		0.40	
Move-up time, m (s)	2.0		2.0		2.0		2.0	
Service Time, ts (s)	3.5		3.3		3.1		3.0	

Capacity and Level of Service

	Eastbound		Westbound		Northbound		Southbound	
	L1	L2	L1	L2	L1	L2	L1	L2
Capacity (veh/h)	335		447		456		540	
Delay (s/veh)	9.27		10.47		10.26		11.39	
LOS	A		B		B		B	
Approach: Delay (s/veh)	9.27		10.47		10.26		11.39	
LOS	A		B		B		B	
Intersection Delay (s/veh)	10.63							
Intersection LOS	B							

ALL-WAY STOP CONTROL ANALYSIS

General Information		Site Information	
Analyst	EB	Intersection	04 PM EX
Agency/Co.	ATE	Jurisdiction	SANTA BARBARA
Date Performed		Analysis Year	EXISTING
Analysis Time Period	PM PEAK HOUR		

Project ID 04167

East/West Street: DE LA GUERRA STREET North/South Street: GARDEN STREET

Volume Adjustments and Site Characteristics								
Approach		Eastbound			Westbound			
Movement	L	T	R	L	T	R		
Volume (veh/h)	27	88	34	42	96	28		
%Thrus Left Lane								
Approach		Northbound			Southbound			
Movement	L	T	R	L	T	R		
Volume (veh/h)	17	197	40	44	326	21		
%Thrus Left Lane								
	Eastbound		Westbound		Northbound		Southbound	
	L1	L2	L1	L2	L1	L2	L1	L2
Configuration	LTR		LTR		LTR		LTR	
PHF	1.00		1.00		1.00		1.00	
Flow Rate (veh/h)	149		166		254		391	
% Heavy Vehicles	4		4		4		4	
No. Lanes	1		1		1		1	
Geometry Group	1		1		1		1	
Duration, T	0.25							

Saturation Headway Adjustment Worksheet							
Prop. Left-Turns	0.2		0.3		0.1		0.1
Prop. Right-Turns	0.2		0.2		0.2		0.1
Prop. Heavy Vehicle	0.0		0.0		0.0		0.0
hLT-adj	0.2	0.2	0.2	0.2	0.2	0.2	0.2
hRT-adj	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6
hHV-adj	1.7	1.7	1.7	1.7	1.7	1.7	1.7
hadj, computed	-0.0		0.0		-0.0		0.1

Departure Headway and Service Time								
hd, initial value (s)	3.20		3.20		3.20		3.20	
x, initial	0.13		0.15		0.23		0.35	
hd, final value (s)	6.01		6.02		5.52		5.37	
x, final value	0.25		0.28		0.39		0.58	
Move-up time, m (s)	2.0		2.0		2.0		2.0	
Service Time, t _s (s)	4.0		4.0		3.5		3.4	

Capacity and Level of Service								
	Eastbound		Westbound		Northbound		Southbound	
	L1	L2	L1	L2	L1	L2	L1	L2
Capacity (veh/h)	399		416		504		641	
Delay (s/veh)	10.99		11.32		12.00		15.62	
LOS	B		B		B		C	
Approach: Delay (s/veh)	10.99		11.32		12.00		15.62	
LOS	B		B		B		C	
Intersection Delay (s/veh)	13.20							
Intersection LOS	B							

ALL-WAY STOP CONTROL ANALYSIS

General Information		Site Information	
Analyst	EB	Intersection	04 PM EX+PR
Agency/Co.	ATE	Jurisdiction	SANTA BARBARA
Date Performed	2007	Analysis Year	EXISTING + PROJECT
Analysis Time Period	PM PEAK HOUR		

Project ID 04167	East/West Street: DE LA GUERRA STREET	North/South Street: GARDEN STREET
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Volume Adjustments and Site Characteristics

Approach	Eastbound			Westbound		
	L	T	R	L	T	R
Movement						
Volume (veh/h)	28	90	36	42	97	28
%Thrus Left Lane						

Approach	Northbound			Southbound		
	L	T	R	L	T	R
Movement						
Volume (veh/h)	18	197	40	44	326	21
%Thrus Left Lane						

	Eastbound		Westbound		Northbound		Southbound	
	L1	L2	L1	L2	L1	L2	L1	L2
Configuration	LTR		LTR		LTR		LTR	
PHF	1.00		1.00		1.00		1.00	
Flow Rate (veh/h)	154		167		255		391	
% Heavy Vehicles	4		4		4		4	
No. Lanes	1		1		1		1	
Geometry Group	1		1		1		1	
Duration, T	0.25							

Saturation Headway Adjustment Worksheet

Prop. Left-Turns	0.2		0.3		0.1		0.1	
Prop. Right-Turns	0.2		0.2		0.2		0.1	
Prop. Heavy Vehicle	0.0		0.0		0.0		0.0	
HLT-adj	0.2	0.2	0.2	0.2	0.2	0.2	0.2	0.2
HRT-adj	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6	-0.6
HV-adj	1.7	1.7	1.7	1.7	1.7	1.7	1.7	1.7
hadj, computed	-0.0		0.0		-0.0		0.1	

Departure Headway and Service Time

hd, initial value (s)	3.20		3.20		3.20		3.20	
γ, initial	0.14		0.15		0.23		0.35	
hd, final value (s)	6.03		6.05		5.55		5.40	
γ, final value	0.26		0.28		0.39		0.59	
Move-up time, m (s)	2.0		2.0		2.0		2.0	
Service Time, t _s (s)	4.0		4.0		3.5		3.4	

Capacity and Level of Service

	Eastbound		Westbound		Northbound		Southbound	
	L1	L2	L1	L2	L1	L2	L1	L2
Capacity (veh/h)	404		417		505		640	
Delay (s/veh)	11.11		11.39		12.10		15.77	
LOS	B		B		B		C	
Approach: Delay (s/veh)	11.11		11.39		12.10		15.77	
LOS	B		B		B		C	
Intersection Delay (s/veh)	13.30							
Intersection LOS	B							





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FEB 06 2008

**CITY OF SANTA BARBARA
PLANNING DIVISION**

Acoustical Analysis Report

**Mixed Use Project
800 Santa Barbara St.
Santa Barbara, CA
V.A. Project No. 3588-004
December 5, 2007**

Prepared for

FOLEY & BEZEK

By

Hooshang Khosrovani, Ph.D., P.E., Associate Principal

**Veneklasen Associates, Inc.
1711 Sixteenth Street
Santa Monica, California 90404**

EXECUTIVE SUMMARY

An acoustical analysis report has been completed for a proposed mixed use project located at 800 Santa Barbara St., Santa Barbara, California. The purpose of this study is to document the noise environment and determine the necessary mitigation procedures for compliance with the relevant codes and standards. The structures must comply with the California Noise Insulation Standard (Title 24) as well as the City of Santa Barbara General Plan requirements.

Noise levels at the exterior and interior areas of the project due to future traffic conditions have been estimated and compared to the relevant standards.

The results of the analysis have shown that the resulting noise levels at the exterior of the structures as well as the interior spaces will be in compliance with all relevant codes and standards. The required mitigations are provided in the report.

The noise impact due to construction activities for the project on the Anacapa School, located on the north property line of the site is also discussed.

1. Introduction & Project Description

The proposed mixed use project is predominately a two story structure with a third story residential component in the northeast corner of the property. The commercial units are proposed on the first floor along the northerly property line; the residential units are located on the first and second floors. The parking spaces are provided in subterranean garage, shown in Figure 1. This parcel of land is bound by Santa Barbara Sr. on the west, east De la Guerra St. on the south, Anacapa School to the north and a private easement driveway to the east.

The major source of noise at and around this site is the traffic on Santa Barbara St. and to a lesser extent the traffic on De la Guerra St. The noises associated with the school are the activities in the school yard which occur during recess times and other outdoor functions. These are generally short term events which usually occur during daytime periods and only affect the north property line.

The north property line of the site is impacted by the traffic on Santa Barbara St and also the activities at the school. The levels at other property lines are primarily impacted by the local street traffic.

The existing traffic volumes along the 800 Santa Barbara Street block are 11,800 Average Daily Trips (ADT). The future 2030 volumes assume a growth factor of 6.7% resulting in a future traffic volume of 12,590 ADT's. This growth factor was derived from the SBCAG 2030 Travel Forecast for Santa Barbara County report. The traffic on Santa Barbara St. primarily consists of car traffic with occasional medium size trucks. The speed range averages from 25 MPH to approximately 30 MPH. The traffic mix and speed averages were verified by site surveys and observations.

2. The Noise Criteria – Applicable Standards

The project must comply with California Noise Insulation Standards (Title 24) and UBC requirements. These standards require a maximum interior noise level of CNEL/Ldn 45 due to exterior noise sources. These requirements are also consistent with the City of Santa Barbara land use requirements. The City of Santa Barbara standard for exterior habitable land use is Ldn 60. The Ldn metric is a weighted average of hourly noise levels with increased values applied to nighttime periods.

The common floor ceiling assemblies and party walls within the structure must also comply with minimum noise impact and noise transmission requirements (IIC and STC ratings). The minimum ratings for these requirements are 50.

3. Noise Measurements

The existing noise levels at this site are primarily controlled by local traffic on Santa Barbara St. The future noise levels will also be controlled by the traffic on this street. The traffic on De la Guerra St. affects only the south property line and is insignificant as compared to the traffic on Santa Barbara St. traffic. The noise sources associated with the school affect the north property line only. These sources are due to school yard activities and are generally short term in nature.

A long term noise survey was performed at one location at the site. The long term survey was conducted at a point (shown as L in Figure 1) on the north property line of the site and is shown on Figure 1. This location was chosen to avoid contamination of data by the existing parking lot

activities and also was close to both Santa Barbara St and school. The noise levels at this location are controlled by the Santa Barbara St. and activities in the school yard. School yard activities occur during day times and school days only. The measurements were performed during a typical school day. Hourly noise levels were measured and recorded for a 24 hour period. These levels are used to calculate the Ldn value. The Ldn values at other locations throughout the site may be estimated by using the result of this survey in conjunction with short term noise measurements and traffic noise calculations; Federal Highway Administration traffic noise modeling program (FHWA program) is used for this purpose.

The long term measurements started at 11:00am on Thursday February 22, 2007 and were completed 24 hours later at 11:00 on Friday. This period was a regular school day.

Short-term noise measurements (15 minute duration) were also performed at the site (shown as S1 to S6 in Figure 1) to determine the actual existing levels. Traffic noise is estimated using the Federal Highway Administration Traffic Noise Model with California vehicle noise emission parameters. This model uses traffic input data of volume, average speed and daily distribution.

The results of the long term survey are included in the Appendix. The results of short term measurements are included in Table 1.

4. Analysis

4.1 Exterior Noise Level Estimates

The Federal Highway Administration (FHWA) noise modeling program was used for estimating the noise levels due to traffic on the streets. The traffic volumes were obtained from the traffic engineer. The existing Average Daily Traffic (ADT) is 11,800 and will grow to 12,590 by the year 2030. The speed and traffic mix were obtained by actual field observations. The results of these calculations were in agreement with actual short term measurements (see note 2 in Table 1).

The noise environment at the site will be altered after completion of the project. This is due the attenuation and shielding effect of the proposed structures. The levels at the west property line will not be affected; however the levels at all other sides will be reduced. The estimated Ldn values at all property lines, after completion of the project and for future traffic conditions (year 2030) are included in Table 2. As it may be noticed the future levels at all location around the site will be below Ldn 60.

The proposed development must comply with the noise requirements as stated in the Noise Element which is part of the City of Santa Barbara General Plan. The requirements state that the interior noise levels must not exceed an Ldn value of 45 and exterior locations designated as private habitable areas must not exceed an Ldn of 60. These levels will be used as the basic acoustic design criteria for the project.

All outdoor living spaces for the units (designated as balconies and patios) will be below Ldn 60, as shown in Table 2, and therefore the project will be in compliance with exterior noise requirements of the standard.

4.2 Interior Noise Levels Estimates

As mentioned above the interior noise levels for residential units must be below Ldn 45. The estimated exterior noise levels as shown in Table 2 were used for calculating the interior noise levels. The analysis showed that if the doors and window afford a STC rating of 23 the interior noise levels will be below Ldn 45 level. It must be noted that most quality non-rated products yield STC rating of 23.

Additionally the common floor ceiling assemblies and party walls between residential units must afford IIC and STC ratings of 50. Typical construction details for these construction which comply with these requirements are included in the Appendix

5. Construction Noise Levels

The construction phase of the project will involve activities which will generate short term noise levels. The detail of the construction program is not known at this point, however the following activities are anticipated:

- Demolition of existing structures
- Site grading
- Excavation, earth removal and shoring
- Foundation work
- Retaining wall construction
- Concrete works
- Structural framing
- Metal stud framing
- Exterior finish work
- Rough electrical, mechanical and plumbing
- Glazing
- Interior finish work
- Site work
- Paving
- Landscaping

The construction period starting with the demolition works through construction of retaining wall, have the potential for producing higher noise levels than the remaining construction activities.

The entire construction is planned to be completed within a 52 week period. The aforementioned activities, demolition through retaining wall construction which has the highest noise potential, are expected to be completed within the first five weeks of construction. A list of construction equipment and their noise levels are shown in the enclosed table in the Appendix.

There are no specific limits for construction noise in the City's regulation. In most jurisdictions the construction noise level is specified at 65 dBA for sensitive receptors such as schools, hospital, places of worship etc. Also construction activities are generally prohibited between 7:00pm to 7:00am daily. This prohibition also applies to Sundays and holidays.

Anacapa School is the most sensitive noise receptor during the construction period. The average noise levels are expected to range from 60 to 70 dBA at school yard during the first five weeks of construction. This estimate is based on the assumption that the noise emission levels from the equipment used are in compliance with the levels shown in the Appendix. These levels have the potential to interfere with normal school yard activities. In particular communication will be difficult under these conditions. In order to mitigate this impact it is recommended to use noise control blankets as noise barriers for specific equipment noise enclosures, if required and also as noise barrier along the property line between the school and the project site. The noise control curtain must have a minimum STC rating of 25.

The proposed mitigation measures for construction are expected to reduce noise to below 60 dBA levels. These levels are in the same order of magnitude as the general ambient conditions and therefore the impacts are considered to be insignificant.

Table 1
Results of Short Term Measurements at the Project Site

Location	Measured Noise Level, dBA(Note1)
S1	62(note 2)
S2	63
S3	61
S4	60
S5	59
S6	55

Notes:

1. These are short term measured levels at the site.
2. At this location the levels were controlled by traffic on Santa Barbara Street only. The calculated level was 61.3 which is in close agreement with the measured level of 62. This analysis validates estimation of noise levels due to traffic using the FHWA noise modeling program.

Table 2
Estimated Ldn levels at the
Property Lines of the Site
(After completion of the project)

Property Line Location	Estimated Ldn
North	56.6(note 1)
East	54.8
South	55.0
West	59.0

Notes:

1. This level is due to both the traffic and school. The estimated level due to traffic is Ldn 52.0 and the noise due to school activities is at this location is Ldn 54.8(the noise level due to traffic, without the building is, Ldn 55.0).

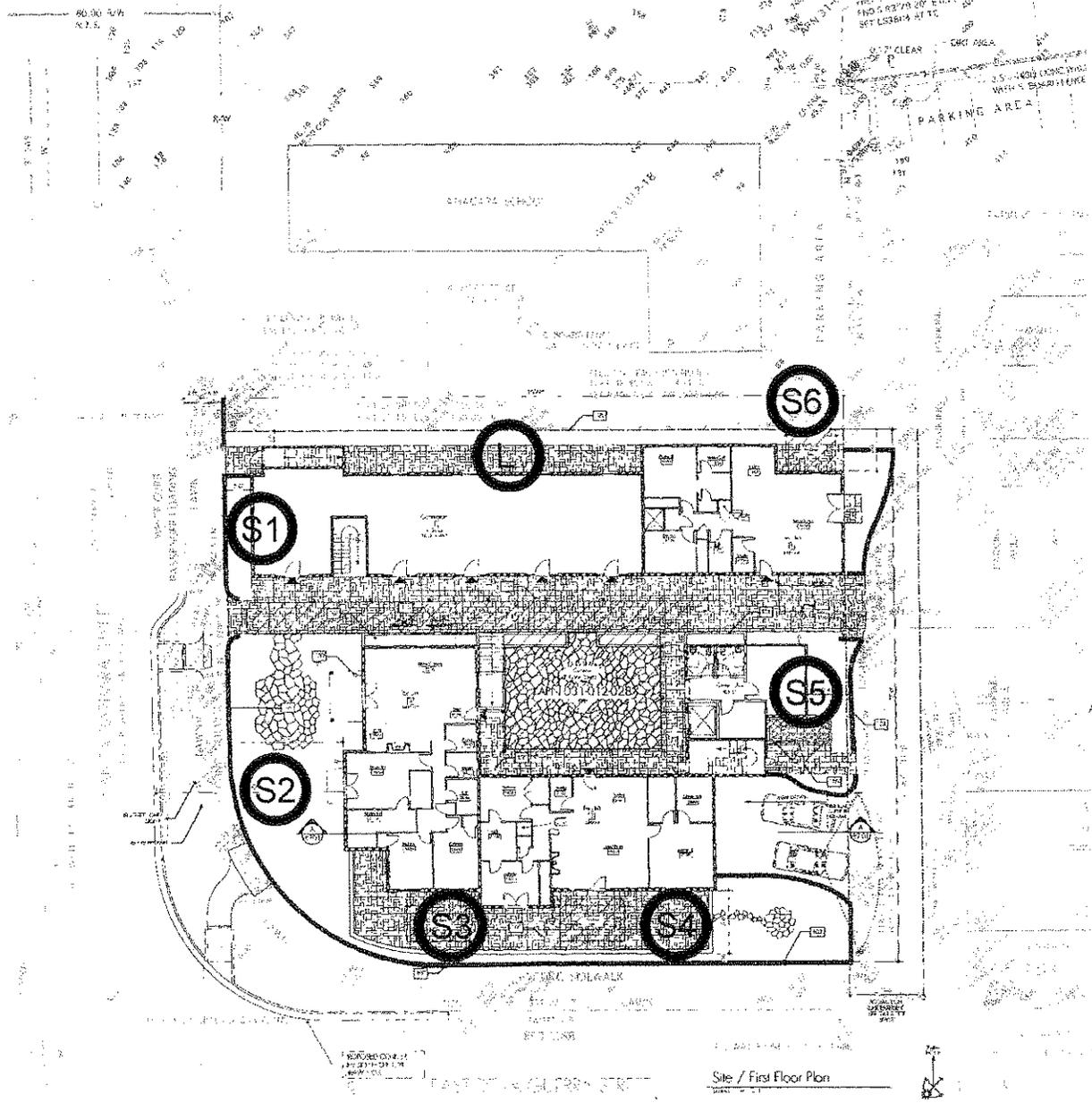


Figure 1

800 SANTA BARBARA ST. PROJECT NOISE MEASUREMENT LOCATIONS WITH THE PROPOSED STRUCTURE FOOTPRINT

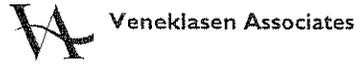
Veneklasen Associates
 Consultants in Acoustics | AV | IT | Environmental Noise
 1711 Sixteenth Street, Santa Monica, CA 90404 (310) 450-1733

DATE:
08/20/07

SCALE:
NTS

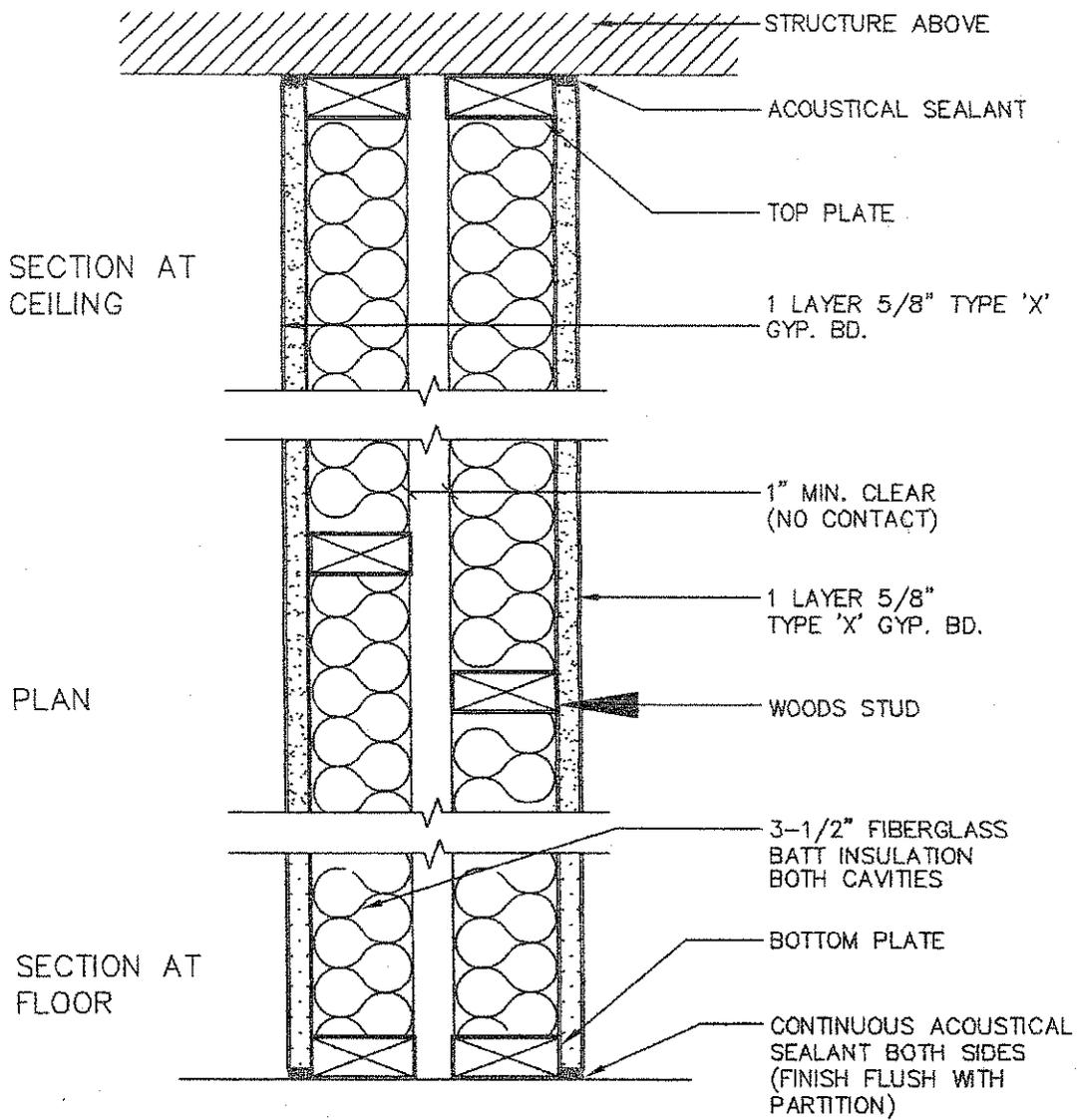
SHEET:

Appendix



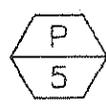
**Long Term Noise Survey
Data Log**

**Typical Party Wall and
Floor-Ceiling Assemblies**



NOTES

1. NO MECHANICAL TIES BETWEEN OPPOSITE SIDE OF PARTITION.
2. KEYHOLES FOR CONDUIT SHALL BE CUT IN WOOD STUDS IN SIDE SERVED.
3. WHERE SHEAR PANEL OCCURS, INSTALL TO STUDS UNDER GYP. BOARD AS REQUIRED BY STRUCTURAL. DO NOT INSTALL BETWEEN STUD ROWS.
4. TAPE OUTER JOINTS OF GYPSUM BOARD ONLY.
5. AT MULTIPLE LAYERS OF GYPSUM BOARD, STAGGER JOINTS. JOINTS AT STUDS ONLY. DO NOT GLUE LAYERS TOGETHER.

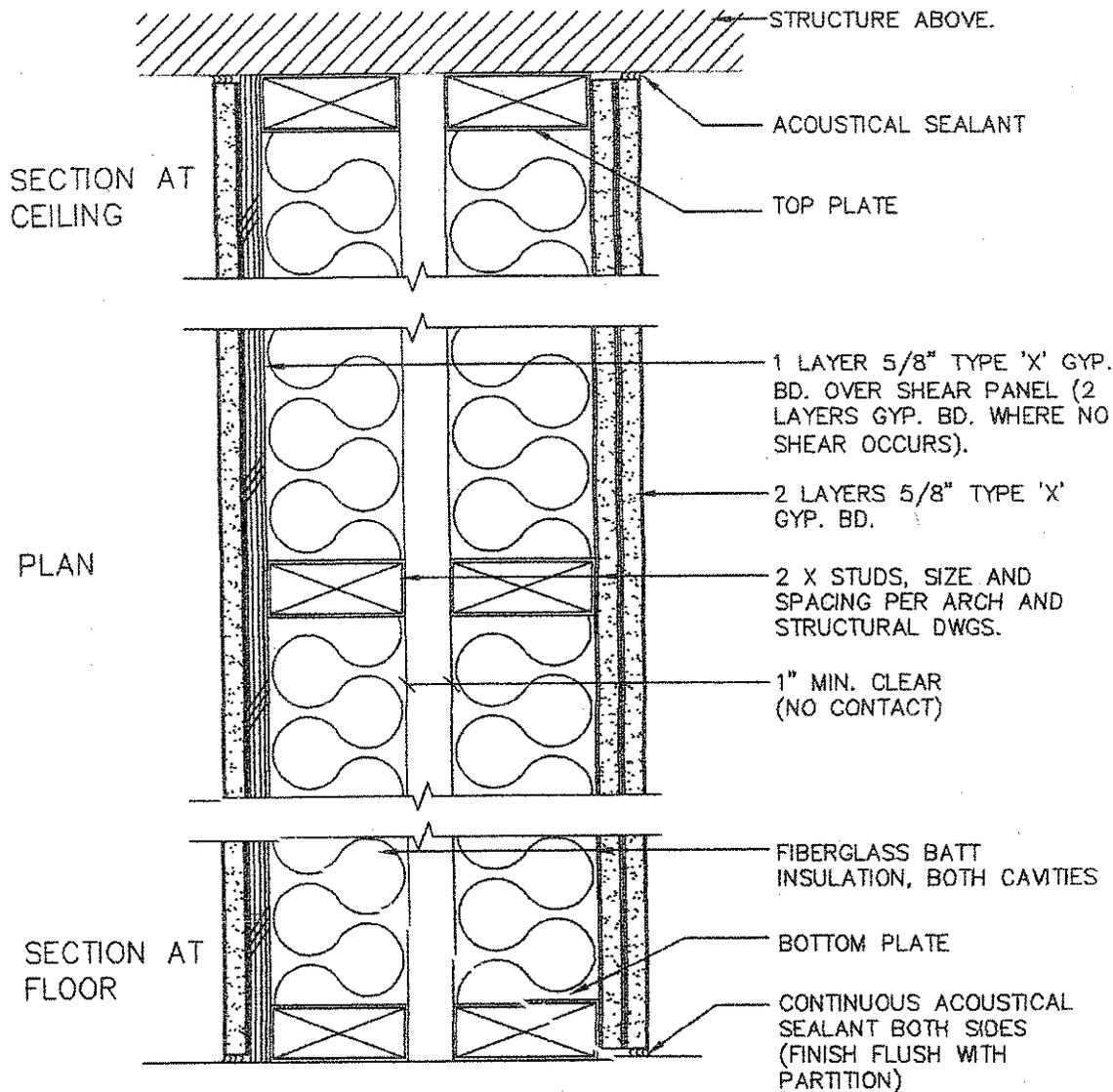


PARTITION DETAIL - TYPE P-5



VENEKLASEN ASSOCIATES
 CONSULTANTS IN ACOUSTICS
 1711 SIXTEENTH STREET, SAKRA MONICA, CA 90404 (310) 480-1733

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NOTES

1. NO MECHANICAL TIES BETWEEN OPPOSITE SIDE OF PARTITION.
2. KEYHOLES FOR CONDUIT SHALL BE CUT IN WOOD STUDS IN SIDE SERVED.
3. ATTACH PLYWOOD TO STUDS UNDER GYP. BOARD AS REQUIRED BY STRUCTURAL.

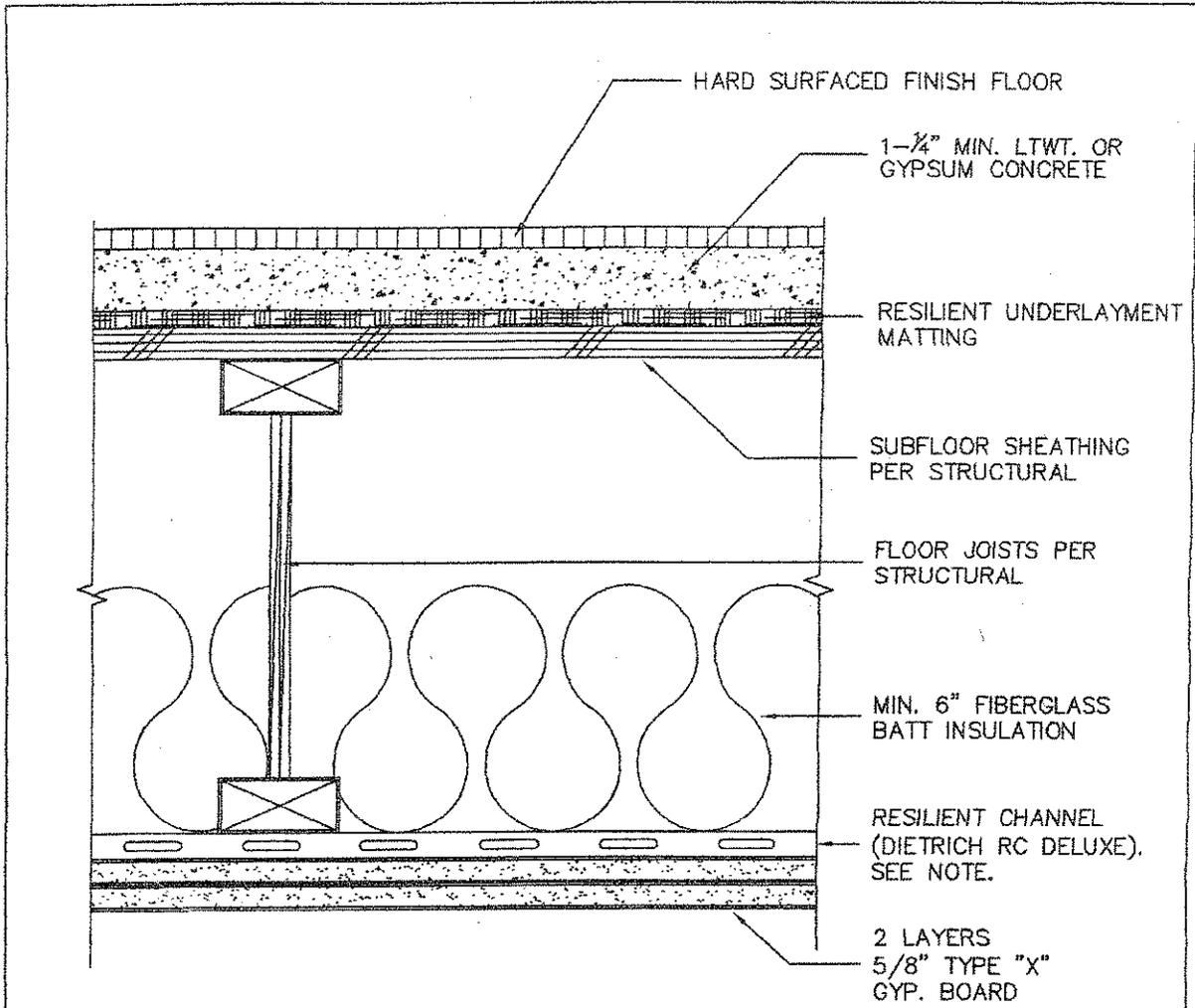


ACOUSTICAL DESIGN INFORMATION ONLY

PARTITION DETAIL



VENEKLASEN ASSOCIATES
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1711 SIXTEENTH STREET, SANTA MONICA, CA 90404 (310) 450-1733



NOTES:

1. INSTALL MIN. 1/4" THICK PERIMETER ISOLATION MATERIAL AT PERIMETER OF CONCRETE POUR. SEE F-8G.
2. TAPE JOINT BETWEEN PERIMETER ISOLATION AND UNDERLAYMENT AND ALL UNDERLAYMENT SEAMS PER MANUFACTURER'S INSTRUCTIONS.
3. RESILIENT CHANNEL SHOULD BE "RC-DELUXE," 25 GA., BY DIETRICH. NO KNOWN EXCEPTIONS.
4. RESILIENT CHANNEL AND CEILING GYPSUM BOARD SHOULD BE HELD CLEAR OF WALL STRUCTURE, AND THE GAP CAULKED WITH ACOUSTICAL SEALANT. SEE F-8G.



DEMISING FLOOR/CEILING SYSTEM



VENEKLASEN ASSOCIATES
 CONSULTANTS IN ACOUSTICS
 1711 SOKEDENY STREET, SANTA MONICA, CA 90404 (310) 460-1733



Noise Levels for Typical Construction Equipment Referenced to 50 Feet

		Equipment	Noise Level (dBA) at 50 Feet
Equipment Powered by Internal Combustion Engine	Earth Moving	Compactors (Rollers)	70 - 75
		Front Loaders	72 - 84
		Backhoes	72 - 82
		Tractors	76 - 86
		Scrapers, Graders	80 - 93
		Pavers	80 - 90
		Trucks	82 - 94
	Materials Handling	Concrete Mixers	75 - 87
		Concrete Pumps	82 - 85
		Cranes (Moveable)	75 - 86
		Cranes (Derrick)	85 - 90
	Stationary	Pumps	68 - 75
		Generators	70 - 80
		Compressors	75 - 85
	Impact Equipment	Pneumatic Wrenches	82 - 88
		Jack Hammers and Rock Drills	90 - 97
		Pile Drivers (Peaks)	95 - 105
		Vibrator	68 - 82
		Saws	72 - 82
	Other		



City of Santa Barbara Planning Division

PLANNING COMMISSION MINUTES

June 12, 2008

CALL TO ORDER:

Chair (Pro Tem) John Jostes called the meeting to order at 1:05 P.M.

ROLL CALL:

Present:

Chair (Pro Tem) John Jostes

Commissioners Bruce Bartlett, Charmaine Jacobs, Addison S. Thompson and Harwood A. White, Jr.

Absent:

Chair George C. Myers

Vice-Chair Stella Larson

Julie Rodriguez, Planning Commission Secretary

STAFF PRESENT:

Jan Hubbell, Senior Planner

N. Scott Vincent, Assistant City Attorney

Rob Dayton, Principal Transportation Planner

Steve Foley, Supervising Transportation Planner

Debra Andaloro, Senior Planner

Michael Berman, Environmental Analyst

Allison De Busk, Project Planner

Melissa Hetrick, Project Planner

Irma Unzueta, Project Planner

Peter Lawson, Associate Planner

Chelsey Swanson, Associate Transportation Planner

Gabriela Feliciano, Substitute Commission Secretary

I. PRELIMINARY MATTERS:

- A. Requests for continuances, withdrawals, postponements, or addition of ex-agenda items.

None.

B. Announcements and appeals.

Ms. Hubbell made the following announcements:

1. The appeal for the project located at 565 Yankee Farm Road was denied by the City Council on Tuesday, June 10, with the following added conditions: 1) The house shall be reduced to 85% Floor to Area Ratio (FAR); 2) the tower height shall be reduced; and 3) Staff is to strengthen the conditions of approval regarding construction and post-construction drainage.

C. Comments from members of the public pertaining to items not on this agenda.

Chair Jostes opened the public hearing at 1:06 P.M.

1. Sheila Lodge, Chair of the Citizens Planning Association (CPA) – provided booklets with recommendations and suggestions with regard to the General Plan update, including proposed a new Historic Preservation Element, a new section on protecting the urban forest, and suggested policies in the housing and land-use elements.
2. Mary Louise Days, CPA member and local historian– assisted in preparing the historical preservation element section proposed to be included in the General Plan update by the CPA.
3. Paul Hernadi, CPA member – concerns with regard to air quality and housing; suggested adding language about both concerns in the General Plan update.
4. Patricia Hiles, local resident – suggested that future Planning Commission agendas specify when story poles will be installed at project sites for the public's benefit.

Chair Jostes closed the public hearing at 1:15 P.M.

Chair Jostes expressed appreciation for the level of professionalism and thoughtful effort in the preparation of the booklet submitted by the CPA.

II. CONTINUED ITEM:

The following item was continued from May 22, 2008.

ACTUAL TIME: 1:16 P.M.

APPLICATION OF TRISH ALLEN, AGENT FOR 800 SANTA BARBARA STREET LLC, PROPERTY OWNER OF 800 SANTA BARBARA STREET, APN: 031-012-028, C-2, COMMERCIAL ZONE, GENERAL PLAN DESIGNATION: MAJOR PUBLIC & INSTITUTIONAL/OFFICES (MST2006-00129)

The proposed project involves the demolition of the existing 1,965 square foot one-story commercial building and the construction of a 14,747 square foot, two and three-story mixed-use building containing six residential condominium units and ten commercial

condominiums totaling 4,838 square feet. The residential mix includes five three-bedroom units and one two-bedroom unit, ranging in size from 1,316 square feet to 2,249 square feet. The ten proposed commercial condominiums would be range in size from 400 net square feet to 478 net square feet. Twenty-seven parking spaces are proposed in an underground parking structure, with eleven of those spaces provided per a lease agreement with 223 E. De la Guerra Street.

The discretionary applications required for this project are:

1. A Tentative Subdivision Map for a one-lot subdivision to create six residential condominium units and ten commercial units (SBMC Chapters 27.07 and 27.13); and
2. A Development Plan Approval to allow 2,878 square feet of net new non-residential use (SBMC §28.87.300).

The Environmental Analyst has determined that the project is exempt from further environmental review pursuant to the California Environmental Quality Guidelines Section 15332, which allows infill development within urbanized areas.

Case Planner: Irma Unzueta, Project Planner

Email: iunzueta@santabarbaraca.gov

Irma Unzueta, Project planner, gave the Staff presentation. Ms. Unzueta introduced Melissa Hetrick, Project Planner/Environmental Analyst.

Ms. Unzueta acknowledged receipt of two letters from the public:

- 1) Gordon Sichi, Head Master at the Anacapa School; and
- 2) Paula Westbury, local resident.

Brian Cearnal, Architect, gave the applicant presentation. Mr. Cearnal introduced Thomas Foley, Property Owner; Trish Allen, SEPPS; Susan Van Atta, Landscape Architect; Alexandra Cole, Historical Consultant; and David Stone, Archaeological Consultant.

The Commission had the following discussion with the applicant:

1. With regard to surface parking, there is only underground parking proposed; the diagram presented by the applicant showing cars on the surface is only to indicate the entrance to the driveway.
2. The adjacent trees shown on the existing site plan are very close to the property line, but it was confirmed with the applicant's arborist that the trees could be saved because they will be a sufficient distance away from the proposed parking garage.
3. Abutting De la Guerra Street, there are existing agaves that may be removed temporarily and placed back in the ground.
4. The crosswalk along Santa Barbara Street is shown at an angle because it follows the existing walkway.

Chair Jostes opened the public hearing at 1:57 P.M.

The following people spoke in support of the project:

1. David Stone, project's Archaeological Consultant – the report prepared acknowledged Mike Imwalle's finding that the project site is within a recorded archaeological and historical site; no specific archaeological investigations to test precisely the presence or absence of significant archaeological resources within the boundary of El Presidio site; the type of mitigation measure within a portion of the site is to require careful monitoring during construction and Dr. Michael Glassow, serving as the HLC archaeological advisor, considered the Cultural Resources report recommendations to be reasonable and sufficient to address potential impacts related to prehistoric or historical resources on site. The Santa Barbara Trust for Historic Preservation (SBTHP) requested additional information, which was responded to and a testing program was identified to be followed: In consultation with Mike Imwalle, ten shovel test pits were distributed an equal distance apart and located in a way to identify presence of potentially significant resources, including roadways; no significant remains were encountered in the shovel test pits. Dr. Glassow reviewed the new data to determine whether his previous finding should be reconsidered in light of potentially substantial and significant resources. Dr. Glassow agreed that close monitoring of earth moving by a qualified historical archaeologist would be an appropriate measure to ensure that any significant resources that may be present can be identified so that proper treatment may occur.

The following people spoke in opposition to the project or with concerns:

1. Gordon Sichi, the Anacapa School Head Master – unfortunate that the green belt and view of the sky will be reduced significantly; mainly concerned with class time disruption during construction period, complaints from future residents with regard to noise generated by student activities; requested that access to easement at rear of school be maintained during construction; that the white loading zone at the school site be kept open and that demolition be undertaken during the summer.
2. Anne Peterson read a letter from Donald Sharpe, SBTHP Board of Directors, who was unable to attend – concerned with removal of many mature trees on site, size, bulk and scale, and specifically the three-story element which is foreign to neighborhood, not consistent with the Urban Design Guidelines and need to increase setbacks as project is too close to north property line and intersection.
3. Jarrell Jackman, Executive Director of the SBTHP – a full EIR is necessary to assess the impact on El Presidio historic site; concerned with neighborhood compatibility, and parking forced onto the street; and a full archaeological study is needed.
4. Michael Imwalle, Staff Archaeologist for the SBTHP – commented on archaeological resources potentially affected by the proposed project; reviewed the history of El Presidio and its importance in the development of City.

5. Robert Hoover, SBTHP, concerned that the results of additional testing was not reviewed by the Historic Landmarks Commission and requested that a complete report be submitted to the HLC for review.
6. Anne Peterson, read a letter from Dr. Knox Mellon, former California State Historic Preservation Officer – concerned with inadequacy of the original Phase 1 Archaeological Survey leading to faulty recommendations for action by the HLC; the proposal adversely impacts valuable historic resources located in the area adjacent to El Presidio State Park.
7. Mary Louise Days, SBTHP board member and local historian – concerned with environmental effect on cultural and historic resources, views, noise, air pollution, traffic, parking, and urban landscape; trees shown in applicant's presentation are street trees on City land; no other three-story buildings along either frontage of the street for four blocks; concerned that project does not conform to the City's General Plan.
8. Richard Rozzelle, Superintendent for the Channel Coast District of California State Parks – El Presidio site's importance to the State Parks system; high priority to protect resources like El Presidio, including spending millions of dollars to purchase land and complete restoration projects; requested project be sent back to the HLC for further analysis.
9. Barbara Lindemann, SBTHP – commercial part of project most massive and requested it be moved further back from the north property line and that the three-story element be two-story, resulting in less impact to the adjacent one-story building.
10. Kellam de Forest, local resident – further reconstruction of El Presidio will be adversely affected by the proposed project; abutting the wall will hinder the appreciation of the historical resource.
11. Eugene Wilson, CPA Land Use Committee – CEQA exemption not appropriate for this sensitive location and project, requested a full EIR; corner property a critical part of downtown historically and visually; across the street from the Historical Museum, adjacent to the El Presidio and immediately adjoining the Anacapa School; EIR should focus on setbacks, views, archaeology, size, bulk and scale, historic nature of site and health effect of construction on students in the immediate area; concerned with overshadowing of historic atmosphere with modern construction and removal of most of sheltering trees.

With no one else wishing to speak, the public hearing was closed at 2:36 P.M.

The Commission had the following discussion with the applicant and Staff:

1. Staff explained what happens if archaeological resources are encountered during construction.
2. In the shovel test pits, placed as directed by the SBTHP archaeologist, two strata were analyzed. No road or compacted soil was found.
3. The SBTHP brought out new issues mostly with respect to the location drawn of the boundaries of the El Presidio. David Stone considered those issues and included them in his new report. Although SBTHP may not have agreed with the Archaeology Report's

- description, they are not necessarily inaccuracies. Mr. Stone considered the three standards delineated in the MEA to determine significant thresholds for archaeological remains, but concluded that the objects found on the site did not meet any of the criteria.
4. The SBTHP and the California State Park's do not intend to acquire part of the post office in order to complete the preservation of El Presidio. The Anacapa School is already owned by the State Park.
 5. The intent of the CEQA exemption is to provide for certain projects in urban areas (of a certain size and characteristics) that do not typically have significant environmental effects to proceed without further environmental review. The Staff's environmental determination was made based on the findings of the Archaeological and Historic Structures/Sites Reports, both of which were accepted by the HLC, consistent with the procedures in the Master Environmental Assessment. Once the reports were accepted by the HLC, parking and traffic was also looked at, and finally Staff concluded that unusual circumstances did not apply, therefore, an initial study and an EIR or Mitigated Negative Declaration were not required.
 6. There is no easement in perpetuity for the eleven parking spaces provided at the adjacent property and two years are left on the lease.

The Commission made the following comments:

1. The underground parking is commendable for a project of this size.
2. Keeping the historic arcade and the flag pole is appreciated.
3. The applicant's effort to respond to neighbors' concerns is greatly appreciated.
4. The size and scale, parking, and traffic are being dealt with appropriately. The concerns expressed by members of the public are as much an archaeological issue as it is cultural and historical context.
5. There is concern with the three-story element's adjacency to Anacapa School.
6. Compatibility with the neighborhood is important. One Commissioner felt that the project overwhelms El Presidio and the surrounding structures. It is not complimentary to El Presidio.
7. One Commissioner stated that the project is not supportable as presented.
8. Two Commissioners found that the project meets the criteria for Santa Barbara, but not at this site.
9. Two Commissioners found the project to be appropriate to the site as presented with the conditions imposed upon it. Referring it back to the HLC or requesting a full excavation would not be needed, although a historic site is nearby, since one of the conditions is that it shall be closely monitored. The view down De la Guerra Street is important and the applicant is respecting those views. The architecture is thoughtful. A relook of the three-story element is not needed.
10. At least two Commissioners requested that the project be referred back to the HLC to address the concern that there is too much proposed on the site, and for review of aesthetics and provision of more landscaping; but did not find the need for further archaeological review. Three Commissioners did not find a need to refer the project back to the HLC because the studies submitted showed little evidence of significant findings in the requested excavations.

11. It was suggested that an HLC representative attend future meetings where such projects are reviewed by the Planning Commission.
12. At least two Commissioners were not in favor of shrinking the garage because of the impacts it would have on on-street parking in an already congested area.
13. At least three Commissioners would like the garage reduced to add appropriate landscaping, which will help reduce the massing of the building. There is an opportunity for “bona fide treescape” on Santa Barbara Street and should also be provided turning the corner on De la Guerra Street. The landscape plan replacing the acacia trees, which are not necessarily appropriate to the goal of creating an indigenous landscape, is supportable. The bulb-out at the intersection is an improvement to the corner, but adding additional landscape would help buffer the proposed project.
14. With regard to an EIR, one Commissioner commented that it would be more appropriate to come to an agreement by sculpting the project and provide an exemption for the purpose of saving cost and time. Another Commissioner stated that if there were to be an EIR, it would have to be focused on the historic relevance of the site and the visual aesthetics.
15. The time has come to redraw and reanalyze El Pueblo Viejo Landmark District to distinguish it from the central business district.
16. Units 5 and 6 are problematic in that they are viewed straight-on from the roadway and take out the view of the lower foothills, which has been identified as a public resource.
17. It may be less intrusive with a hip roof than the one proposed.
18. The tower (the three-story element) is set back far enough so that it is not too intrusive, but looms over the adjacent school yard. Although not completely compatible with the area, it is sited well and not greatly problematic.

Ms. Hubbell stated that Staff is not requesting further review by the HLC. Additional work done by Mr. Stone did not change the conclusions of the prior Phase 1 Archaeological Report. Staff has amended its recommended conditions of approval for disclosure to future residents and to mitigate construction impacts on Anacapa School in response to the school’s concerns. Ms. Hubbell suggested to the Commission that other appropriate conditions to resolve concerns could be included and the applicant could also be given direction with design changes. Ms. Hubbell pointed out that there is no parking easement for the adjacent parcel. There is no requirement at the end of two years with or without this project that the current property owner maintain the lease for the 11 parking spaces.

Mr. Cearnal expressed concern that, although the HLC has already reviewed the project three times, the applicant would have to start the review process all over again if the Commission was to refer the project back to HLC. He explained that the three-story element (the tower) was designed to not overlook the school yard. There is no classroom activity on that side of the property. As to Unit 5, an effort was made to make the building a “quiet” piece of architecture that is set back. The existing vegetation blocks the mountain views more than the existing buildings. The landscape frontage that exists has been shown maintained in the design. Although a formal site visit was not conducted by the HLC, it is customary for individual members of the HLC to visit project sites. Mr. Cearnal requested direction related to providing more landscaping by removing parking spaces.

The applicant offered to increase the setback to 10' on the Santa Barbara Street frontage.

Ms. Hetrick noted that the effect of the project on the neighboring El Presidio and the entire neighborhood was considered. The HLC requested changes to the Historic Structures/Sites Report to make sure this issue was covered prior to accepting the report.

Mr. Vincent reminded the Commission of its charge at this time, which is the approval of a Development Plan and a Tentative Subdivision Map. The Commission was asked what would be gained from further HLC comments in order to determine whether the residential density and the potential subdivision of the commercial space are appropriate. The size and height of the units are design review issues that will need to be reviewed by the HLC before the applicant receives preliminary approval of the project.

STRAW VOTES:

1. How many Commissioners would agree that the project deserves greater landscaping to soften the project's impact on the view down De la Guerra Street with the understanding that some parking may be lost? 5/0.
2. How many Commissioners would agree that the project should be referred back to the HLC? 2/3. (Bartlett/Jostes/Thompson opposed.)

MOTION: Thompson/Bartlett

Assigned Resolution No. 022-08

Approve the project, making the findings outlined in Section VIII of the Staff Report, subject to the conditions of approval in Exhibit A, and revised with the following conditions of approval: **1)** Increase the landscaping abutting the De la Guerra Street frontage, including deep-rooted trees, as well as the northwest corner along Santa Barbara Street, and the area abutting Anacapa School. A maximum of four parking spaces could be lost and shall be offset by leased parking spaces in the future, if needed. **2)** The setback of the building on Santa Barbara Street shall be increased a minimum of 10 feet. **3)** Soften the northerly elevation adjacent to Anacapa School. **4)** Restripe the crosswalk across Santa Barbara Street to safely align with the pedestrian pathway through the property, subject to review by Transportation and Engineering Divisions for safe alignment of sidewalk. **5)** Future residents shall be informed of the potential for noise as a result of student activities. **6)** Construction impacts to Anacapa School shall be reduced by allowing the loading area in front of the school to remain and not obstructing access to the parking lot.

This motion carried by the following vote:

Ayes: 3 Noes: 2 (Jacobs/White) Abstain: 0 Absent: 2 (Larson/Myers)

Chair Jostes announced the ten calendar day appeal period.

**** THE COMMISSION RECESSED FROM 3:55 P.M. TO 4:14 P.M. ****

III. NEW ITEM:

ACTUAL TIME: 4:14 P.M.

WESTERN SIDE OF 600-800 BLOCK OF MILPAS STREET, C-2 ZONE DISTRICT, GENERAL PLAN DESIGNATION: RESIDENTIAL (MST2008-00228)

City staff is proposing to initiate a General Plan Amendment which involves the lots between Cota and Canon Perdido Streets, located on the west side of Milpas Street, which are currently zoned Commercial (C-2) and are designated Residential under the General Plan. The proposed General Plan Amendment would change the General Plan designation from Residential to General Commerce. The proposed designation would only apply to those lots that are currently zoned C-2 and no change is proposed to this zoning. The Planning Commission will consider initiation of this General Plan Amendment. Case Planner: Peter Lawson, Associate Planner

Email: plawson@santabarbaraca.gov

Case Planner: Peter Lawson, Associate Planner

Email: plawson@santabarbaraca.gov

RECUSALS: To avoid any actual or perceived conflict of interest, Commissioner Bartlett recused himself due to currently designing a project within the boundaries of the project area.

Ms. Hubbell requested that the Planning Commission waive the Staff Report.

MOTION: Thompson/Jacobs

To waive the Staff Report.

This motion carried by the following vote:

Ayes: 4 Noes: 0 Abstain: 0 Absent: 3 (Bartlett/Larson/Myers)

Chair Jostes opened the public hearing at 4:18 P.M. and, with no one else wishing to speak, the public hearing was closed.

The Commission made the following comments:

1. The map adjustment will clear the way for more mixed-use projects and potentially for condominiums with both commercial and residential use. It is a good first step to allow projects to move forward.
2. Ortega Park is in desperate need of maintenance. As projects move forward to develop the area, hopes the park will be given consideration for improvement.
3. Since Plan Santa Barbara is in process to update the City's General Plan, suggested that not much time be spent in trying to get it just right.

The Commission had the following question:

1. Is there any circumstance under which a subdivision map or a lot line adjustment could be approved when inconsistent with the map designation?

Ms. Hubbell responded that lot line adjustments for fewer than four lots do not have to be consistent with the General Plan. A tentative map does have to be consistent. A mixed-use project would not be able to move forward with the current General Plan designation.

MOTION: White/Thompson

Assigned Resolution No. 023-08

To initiate the requested General Plan Map amendment.

This motion carried by the following vote:

Ayes: 4 Noes: 0 Abstain: 0 Absent: 3 (Bartlett/Larson/Myers)

IV. ENVIRONMENTAL HEARING:

ACTUAL TIME: 4:29 P.M.

APPLICATION OF BRENT DANIELS, L&P AGENT FOR KELLOGG ASSOCIATES, 3714-3744 STATE STREET AND 3715 SAN REMO DRIVE, APN 053-300-023, -031, -032 AND 053-222-010, C-P/S-D-2, C-P/R-3/R-4/S-D-3, R-4/S-D-2 AND R-2/S-D-2 ZONES, GENERAL PLAN DESIGNATIONS: GENERAL COMMERCE, OFFICE, RESIDENTIAL AND BUFFER (MST2007-00591)

The applicant proposes to demolish the existing 113 room Sandman Inn Hotel and all site improvements, and construct a new 106 room hotel and 73 residential condominium units. The project proposes a total of 291 parking spaces (111 parking spaces for the hotel component, 163 parking spaces for the residential component and 17 common/shared spaces). The hotel and residential development would be on separate parcels. The hotel building would be 62,298 square feet, including 19,834 square feet of non-room area (i.e. meeting rooms, corridors, lobby, laundry area, etc.), above a 46,701 square foot underground parking garage. The residential development would have a maximum height of 31 feet above an underground parking garage. Of the 73 residential condominium units proposed (22 one-bedroom units, 14 two-bedroom units, and 37 three-bedroom units) 11 (2 one-bedroom units, 4 two-bedroom units and 5 three-bedroom units) would be provided at sales prices targeted to middle-income households earning from 120-160% of area median income, pursuant to the City of Santa Barbara's Affordable Housing requirements.

Ingress to and egress from the proposed hotel and residential development would be provided via separate driveways located off of State Street. Access to the Town and Country Apartments, located immediately behind the subject parcels, is currently provided through the hotel site, and would be permanently closed as part of the project. Access to the Town and Country Apartments would be provided via a new driveway connection off of San Remo Drive.

The purpose of the hearing is to receive comments on the proposed EIR scope of analysis. Written comments on the EIR scope of analysis must be received no later than June 26, 2008 at 4:30 p.m.

Case Planner: Allison De Busk, Project Planner

Email: adebusk@SantaBarbaraCA.gov

Allison De Busk, Project Planner, gave the Staff presentation.

Brent Daniels, Agent, gave the applicant presentation.

Chair Jostes opened the public hearing at 4:45 P.M.

The following people spoke in opposition to the project or with concerns:

1. Paul Hernadi, Citizens Planning Association (CPA) – noted that CPA has identified three issue areas: visual aesthetics, air quality, and transportation. With regard to aesthetics, he identified incompatibility with the neighborhood and loss of urban forest. With regard to air quality, he noted that Santa Barbara does not meet the 8-hour standard and impacts to sensitive receptors due to traffic on State Street.
2. Patricia Hiles, CPA – Continued CPA comments regarding transportation. Noted that the traffic study not accurate and is based on old information; existing traffic should be considered, we need a current baseline; reduction in daily trips inaccurate; extreme development of site; consider demand from hotel meeting room; EIR should evaluate the impacts. Proposed density is too high. EIR needs to look at cumulative impacts.
3. Connie Hannah, League of Women Voters – Glad modifications have been eliminated. Likes unit sizes overall, but there is too much commercial square footage and too many units. Traffic at Hitchcock is already bad; ITE rates for underused parcels are not accurate. EIR needs to deal realistically with traffic and parking. Wants to see Alternatives. Concern with three stories so close to State Street, and air quality impacts. Preserve specimen trees on site. A smaller, more sustainable project is desired.

With no one else wishing to speak, the public hearing was closed at 4:56 P.M.

Chair Jostes stated that the scoping period for public comment ends on June 26th.

The Commission had the following discussion with Staff and the applicant:

1. The buffer referred to in the General Plan designation for this site runs east-west behind the area that is generally commercially zoned. It is a buffer between the solid residential areas and the more commercial areas along State Street. What does the buffer mean? Is it a green zone or a transitional area leading to a reduction in height and intensity? The Land Use and Open Space Elements do not make any reference to the “Buffer” designation in the General Plan. It is part of the recreation and open space key on the

- General Plan. If there is no open space buffer that reads, functions, and looks like open space, a General Plan Amendment is needed. Without it, the project description is incomplete. The Buffer designation needs to be thoroughly discussed in the EIR.
2. East-west circulation should not be precluded by the north/south project site design.
 3. Recreational opportunities need to be identified and addressed as described in the Public Services section.
 4. A land use plans and policy analysis needs to be contained in the EIR. The plans and policy consistency must be included in the EIR, not in the Staff Report, so that it is subject to public review and to give the applicant the opportunity to fine-tune the project.
 5. Clarified that the residential and the hotel parking are two separate underground parking garages. The hotel employee parking is contained within the underground parking garage as well. Requested that the EIR evaluate the potential for employee parking spill-over onto the street.
 6. At least two Commissioners would like to have included in the EIR a serious analysis about the commercial office or the hotel taking access using the signalized intersection at Hitchcock. It does not make sense to have a signalized intersection adjacent to the property and then cause traffic friction with a proposed driveway to access the property. The signalized intersection should be used and mid-block crossings and driveways should be avoided.
 8. View analysis should include views of the project itself. The proposed project does not provide an attractive visual aesthetic with its "cookie-cutter" condominiums lined-up in a rectilinear pattern.
 9. Would prefer to see an alternative where there is no Transfer of Existing Development Rights.
 8. More information should be included about the lot line adjustment that would provide an additional 3,000 square feet to the hotel.
 10. Would like to see a discussion of the setback area. It should include planting area in the ground and be able to allow for planting of large trees.
 11. Requested a discussion as to possible mitigations for this project as it is outside the standard walking range for a neighborhood park.
 12. If the lots were merged, could this be considered a mixed-use project? If so, the parking component of the residential could be reduced to one car per unit, rather than two. This would greatly diminish having to do the entire site as a parking garage and would avoid such massive excavation. True landscaping into the ground would be created.
 13. The aesthetics of the Applicant Alternative to the three-story hotel on the corner is preferred.
 13. The intent of the General Plan needs to be reflected with off-site improvements, off-site linkages, and pavement into an open space district.
 14. The EIR should use current traffic figures in its analysis.

Staff responded that the concept of shifting uses from one lot to another has been frequently done and particularly on parcels that have similar or the same zoning. Doing an on site transfer of development within adjacent parcels has been done many times. The baseline for all the resource categories is the existing conditions at the time the

Notice of Preparation (NOP) was issued, which was on May 27, 2008. The analysis for air quality that is proposed in the initial study is only in relation to construction impacts because the construction time-line is very long and a lot of digging is expected on the site. The initial study found that the long-term operational impacts were less than significant.

Mr. Daniels responded that the applicant does not have the legal right to access the site off of the Hitchcock intersection, but has tried to negotiate an arrangement with the current owner with no success.

V. ADMINISTRATIVE AGENDA

A. Committee and Liaison Reports.

1. Commissioners Bartlett and Thompson attended the City Council hearing for the appeal of the project located at 565 Yankee Farm Road. The outcome was reported by Ms. Hubbell in the announcements portion of the meeting.

B. Review of the decisions of the Staff Hearing Officer in accordance with SBMC §28.92.026.

None were requested.

C. Action on the review and consideration of the following Draft Minutes and Resolutions:

- a. Draft Minutes of March 13, 2008.
- b. Draft Minutes of March 20, 2008.
- c. Resolution 012-08 (1298 Coast Village Road)

MOTION: Thompson/Jostes

Approve the March 13, 2008, minutes as presented and defer the draft minutes of the March 20, 2008, meeting and its associated resolution to a future meeting.

This motion carried by the following vote:

Ayes: 2 Noes: 0 Abstain: 2 (As noted) Absent: 3 (Jacobs/Larson/Myers)

Commissioners Bartlett and White abstained from the March 13, 2008, meeting minutes.

VI. ADJOURNMENT

MOTION: Thompson/White

To adjourn the meeting of June 12, 2008.

This motion carried by the following vote:

Ayes: 4 Noes: 0 Abstain: 0 Absent: 3 (Jacobs/Larson/Myers)

Chair Jostes adjourned the meeting at 5:22 P.M.

Submitted by,

Gabriela Feliciano, Substitute Commission Secretary



City of Santa Barbara California

CITY OF SANTA BARBARA PLANNING COMMISSION

RESOLUTION NO. 022-08

800 SANTA BARBARA STREET

TENTATIVE SUBDIVISION MAP AND DEVELOPMENT PLAN APPROVAL

JUNE 12, 2008

APPLICATION OF TRISH ALLEN, AGENT FOR 800 SANTA BARBARA STREET LLC, PROPERTY OWNER OF 800 SANTA BARBARA STREET, APN: 031-012-028, C-2, COMMERCIAL ZONE, GENERAL PLAN DESIGNATION: MAJOR PUBLIC & INSTITUTIONAL/OFFICES (MST2006-00129)

The proposed project involves the demolition of the existing 1,965 square foot one-story commercial building and the construction of a 14,747 square foot, two and three-story mixed-use building containing six residential condominium units and ten commercial condominiums totaling 4,838 square feet. The residential mix includes five three-bedroom units and one two-bedroom unit, ranging in size from 1,316 square feet to 2,249 square feet. The ten proposed commercial condominiums would be range in size from 400 net square feet to 478 net square feet. Twenty-seven parking spaces are proposed in an underground parking structure, with eleven of those spaces provided per a lease agreement with 223 E. De la Guerra Street.

The discretionary applications required for this project are:

1. A Tentative Subdivision Map for a one-lot subdivision to create six residential condominium units and ten commercial units (SBMC Chapters 27.07 and 27.13); and
2. A Development Plan Approval to allow 2,878 square feet of net new non-residential use (SBMC §28.87.300).

The Environmental Analyst has determined that the project is exempt from further environmental review pursuant to the California Environmental Quality Guidelines Section 15332, which allows infill development within urbanized areas.

WHEREAS, the Planning Commission has held the required public hearing on the above application, and the Applicant was present.

WHEREAS, one person appeared to speak in favor of the application, and 11 people appeared to speak in opposition thereto, and the following exhibits were presented for the record:

1. Staff Report with Attachments, May 15, 2008.
2. Site Plans
3. Correspondence received in opposition to the project:
 - a. Gordon Sichi, Anacapa School Head Master.
 - b. Paula Westbury, local resident.

c. Santa Barbara Trust for Historic Preservation

NOW, THEREFORE BE IT RESOLVED that the City Planning Commission:

I. Approved the subject application making the following findings and determinations:

A. ***The Tentative Map (SBMC §27.07.100)***

The Tentative Subdivision Map is consistent with the General Plan and the Zoning Ordinance of the City of Santa Barbara. The site is physically suitable for the proposed development, the project is consistent with the variable density provisions of the Municipal Code and the General Plan, and the proposed use is consistent with the vision for this neighborhood of the General Plan. The design of the project will not cause substantial environmental damage, and associated improvements will not cause serious public health problems.

B. ***The New Condominium Development (SBMC §27.13.080)***

1. There is compliance with all provisions of the City's Condominium Ordinance.

The project complies with density requirements. Each unit includes laundry facilities, separate utility metering, adequate unit size and storage space, and the required private outdoor living space.

2. The proposed development is consistent with the General Plan of the City of Santa Barbara.

The project is consistent with policies of the City's General Plan including the Land Use Element, Housing Element, Conservation Element, Noise Element and Circulation Element. The proposed development is consistent with the principles of sound community planning and will not have an adverse impact upon the neighborhood's aesthetics, parks, streets, traffic, parking and other community facilities and resources. The project will provide infill residential and commercial development in the downtown that is compatible with the surrounding neighborhood.

3. The proposed development is consistent with the principles of sound community planning and will not have an adverse impact upon the neighborhood's aesthetics, parks, streets, traffic, parking and other community facilities and resources.

The project is an infill mixed-use project proposed in an area where residential and commercial development is a permitted use. The project is adequately served by public streets, will provide adequate parking to meet the demands of the project and will not result in traffic impacts. Adequate park facilities exist nearby, and the project would not adversely impact other community resources, such as water, sewer, police, fire, and schools. The design has been reviewed by the City's design review board, which found the architecture and site design appropriate.

C. For the Development Plan (SBMC §28.87.300)

1. The proposed development complies with all provisions of the Zoning Ordinance.

The proposed development complies with all provisions of the Zoning Ordinance, specifically the provisions of the C-2, Commercial Zone designation.

2. The proposed development is consistent with the principles of sound community planning.

The project site is located in the Land Use Element's Laguna Neighborhood and has a General Plan Designation of Major Public & Institutional and Offices and a Zoning Designation of C-2, Commercial. The Laguna Neighborhood is developed with single-family dwellings, duplexes, and higher-density multiple units in the eastern and northern portions and mixed residential and commercial uses on the west as it merges with the downtown. The project is a mixed-use proposal and represents an infill development on the subject site. It would allow for additional residential units and commercial spaces in the Downtown area, and is consistent with the existing mix of uses in the surrounding neighborhood. Parcels immediately adjacent to the site are developed with commercial, cultural and educational uses.

3. The proposed development will not have a significant adverse impact upon the neighborhood's aesthetics/character in that the size, bulk or scale of the development will be compatible with the neighborhood.

The HLC conceptually reviewed the project and found the design and land use to be appropriate. The project is compatible with the surrounding area's aesthetics and character and is consistent with other two and three-story commercial and mixed-use buildings in the immediate area. The project is also consistent with the Urban Design Guidelines.

4. The proposed development would not have a significant unmitigated adverse impact upon City and South Coast affordable housing stock.

The proposed project would contribute six units to the City and South Coast housing stock and thus, would result in a positive impact to the region's housing stock.

5. The proposed development will not have a significant unmitigated adverse impact on the City's water resources.

The proposed project is estimated to demand 2.26 AFY, which would not significantly impact the City's water supply. There is adequate water to meet the needs of the proposed development. The proposed project receives water service from the City of Santa Barbara and is within the anticipated growth rate for the City. Therefore, the City's long-term water supply and existing water

treatment and distribution facilities would adequately serve the proposed project.

6. The proposed development will not have a significant unmitigated adverse impact on the City's traffic.

Transportation Staff has reviewed the project and determined that the project would not result in significant project or cumulative impacts to any impacted intersection.

II. Said approval is subject to the following conditions:

- A. **Recorded Agreement.** Prior to the issuance of any Public Works permit or Building permit for the project on the Real Property, the Owner shall execute an *Agreement Relating to Subdivision Map Conditions Imposed on Real Property*, which shall be reviewed as to form and content by the City Attorney, Community Development Director and Public Works Director, recorded in the Office of the County Recorder, and shall include the following:

1. **Approved Development.** The development of the Real Property approved by the Planning Commission on May 22, 2008 is limited to six residential condominium units and up to 2,873 new square feet for a total of 4,838 square feet of commercial development that may be subdivided into as many as 10 commercial condominium units and the improvements shown on the Tentative Subdivision Map signed by the chairman of the Planning Commission on said date and on file at the City of Santa Barbara.
2. **Uninterrupted Water Flow.** The Owner shall provide for the uninterrupted flow of water through the Real Property including, but not limited to, swales, natural watercourses, conduits and any access road, as appropriate.
3. **Recreational Vehicle Storage Prohibition.** No recreational vehicles, boats, or trailers shall be stored on the Real Property.
4. **Landscape Plan Compliance.** The Owner shall comply with the Landscape Plan approved by the Historic Landmarks Commission (HLC). Such plan shall not be modified unless prior written approval is obtained from the (HLC). The landscaping on the Real Property shall be provided and maintained in accordance with said landscape plan. If said landscaping is removed for any reason without approval by the HLC, the owner is responsible for its immediate replacement.
5. **Storm Water Pollution Control and Drainage Systems Maintenance.** Owner shall maintain the drainage system and storm water pollution control devices intended to intercept siltation and other potential pollutants (including, but not limited to, hydrocarbons, fecal bacteria, herbicides, fertilizers, etc.) in a functioning state (and in accordance with the Operations and Maintenance Procedure Plan approved by the Building Official). Should any of the project's surface or subsurface drainage structures or storm water pollution control

methods fail to capture, infiltrate, and/or treat, or result in increased erosion, the Owner shall be responsible for any necessary repairs to the system and restoration of the eroded area. Should repairs or restoration become necessary, prior to the commencement of such repair or restoration work, the applicant shall submit a repair and restoration plan to the Community Development Director to determine if an amendment or a new Building Permit is required to authorize such work. The Owner is responsible for the adequacy of any project-related drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to the Real Property or any adjoining property.

6. **Required Private Covenants.** The Owners shall record in the official records of Santa Barbara County either private covenants, a reciprocal easement agreement, or a similar agreement which, among other things, shall provide for all of the following:
 - a. **Common Area Maintenance.** An express method for the appropriate and regular maintenance of the common areas, common access ways, common utilities and other similar shared or common facilities or improvements of the development, which methodology shall also provide for an appropriate cost-sharing of such regular maintenance among the various owners of the condominium units.
 - b. **Garages Available for Parking.** A covenant that includes a requirement that all garages be kept open and available for the parking of vehicles owned by the residents of the property in the manner for which the garages were designed and permitted.
 - c. **Landscape Maintenance.** A covenant that provides that the landscaping shown on the approved Landscaping Plan shall be maintained and preserved at all times in accordance with the Plan.
 - d. **Trash and Recycling.** Trash holding areas shall include recycling containers with at least equal capacity as the trash containers, and trash/recycling areas shall be easily accessed by the consumer and the trash hauler. Green waste shall either have containers adequate for the landscaping or be hauled off site by the landscaping maintenance company. If no green waste containers are provided for common interest developments, include an item in the CC&Rs stating that the green waste will be hauled off site.
 - e. **Gates.** Any gates that have the potential to block access to any designated commercial space shall be locked in the open position during business hours.
 - f. **Covenant Enforcement.** A covenant that permits each owner to contractually enforce the terms of the private covenants, reciprocal easement agreement, or similar agreement required by this condition.

6. **Drainage and Water Quality.** Project drainage shall be designed, installed, and maintained such that stormwater runoff from the first inch of rain from any storm event shall be retained and treated onsite in accordance with the City's NPDES Storm Water Management Permit. Runoff should be directed into a passive water treatment method such as a bioswale, landscape feature (planter beds and/or lawns), infiltration trench, etc. Project plans for grading, drainage, stormwater treatment methods, and project development, shall be subject to review and approval by City Building Division and Public Works Department. Sufficient engineered design and adequate measures shall be employed to ensure that no significant construction-related or long-term effects from increased runoff, erosion and sedimentation, urban water pollutants, or groundwater pollutants would result from the project. The Owner shall maintain the drainage system and storm water pollution control methods in a functioning state.
7. **Santa Barbara Street Public Improvements.** The Owner shall submit C-1 public improvement plans for construction of improvements along the property frontage on Santa Barbara Street. The C-1 plans shall be submitted separately from plans submitted for a Building Permit. As determined by the Public Works Department, the improvements shall include the following: *realignment of curb and gutter and construction of new bulb-out with one-way directional ramp at intersection of Santa Barbara and De La Guerra Streets, (6') six-foot wide sidewalk, (4') four-foot wide parkway, slurry seal to the centerline of the street along entire subject property frontage and slurry seal a minimum of 20 feet beyond the limit of all trenching, connection to City water and sewer mains, private on-site sewer and water mains, public drainage improvements with supporting drainage calculations for installation of A470 curb drain outlets etc., coordinate with City staff to remove the traffic signal from the existing street light standard, carefully remove the existing Cobra Head & concrete pole and deliver to the City yard undamaged, install a commercial height Dome Style street light on a fluted concrete pole at the back of new curb alignment, re-mount traffic signal on new pole with timing of work and final location of new light standard to be determined by the Facilities Construction Superintendent, relocate existing fire hydrant and place proposed water meters to back of new curb, preserve and/or reset survey monuments and contractor stamps, supply and install directional/regulatory traffic control signs per the 2006 MUTCD w/CA supplements, restripe the crosswalk across Santa Barbara Street to safely align with the pedestrian pathway through the property, and provide adequate positive drainage from site. Any work in the public right-of-way requires a Public Works Permit. C-1's shall be prepared by a licensed civil engineer, and require the review, approval and signature of the City Engineer.*
8. **De la Guerra Street Public Improvements.** The Owner shall submit C-1 public improvement plans for construction of improvements along the property frontage on De la Guerra Street. The C-1 plans shall be submitted separately from plans submitted for a Building Permit. As determined by the Public Works

Department, the improvements shall include the following: *realignment of curb and gutter and construction of new bulb-out with one-way directional ramp at intersection of Santa Barbara and De la Guerra Streets, (6') six-foot wide sidewalk, (4') four-foot wide parkway, driveway apron modified to meet Title 24 requirements, re-stripe traffic lanes and cross walk, paint curbs as determined by the Transportation Operations Engineer, slurry seal to the centerline of the street along entire subject property frontage and slurry seal a minimum of 20 feet beyond the limits of all trenching, underground service utilities, connection to City water and sewer mains, private on-site sewer and water mains, public drainage improvements with supporting drainage calculations for installation of drainage pipe, curb drain outlets, slot/trench drain, etc., preserve and/or reset survey monuments and contractor stamps, supply and install directional/regulatory traffic control signs per the 2006 MUTCD w/CA supplements,* and provide adequate positive drainage from site. Any work in the public right-of-way requires a Public Works Permit. C-1's shall be prepared by a licensed civil engineer, and require the review, approval and signature of the City Engineer.

9. **Land Development Agreement.** The Owner shall submit an executed *Agreement for Land Development Improvements*, prepared by the Engineering Division, an Engineer's Estimate, signed, and stamped by a registered civil engineer, and securities for construction of improvements prior to execution of the agreement.
 10. **Encroachment Permits.** Apply for an *Encroachment Permit* from the Public Works Department for the existing stone wall encroaching into the public right of way, and provide a report from a licensed civil engineer or structural engineer ascertaining the structural integrity of the decorative sandstone wall, with recommendations for repair.
 11. **Miscellaneous Permits.** Owner shall obtain a Wastewater Discharge Permit from El Estero Wastewater Treatment Plant to discharge polluted water from the below grade Garage Area Drain to the City sewer main per CBC §311.2.2.
 12. **Removal or Relocation of Public Facilities.** Removal or relocation of any public utilities or structures must be performed by the Owner or by the person or persons having ownership or control thereof.
- C. **Design Review.** The following items are subject to the review and approval of the Historic Landmarks Commission (HLC). HLC shall not grant preliminary approval of the project until the following conditions have been satisfied.
1. **Tree Removal and Replacement.** All trees removed, except fruit trees and street trees approved for removal without replacement by the Parks Department, shall be replaced on-site on a one-for-one basis with minimum 24-inch box sized trees of an appropriate species or like species.

2. **Tree Protection Measures.** The landscape plan and grading plan shall include the following tree protection measures:
 - a. **Landscaping Under Trees.** Landscaping under the tree(s) shall be compatible with the preservation of the tree(s).
 - b. **Arborist's Report.** Include a note on the plans that recommendations/conditions contained in the arborist's report prepared by Peter Winn, dated August 17, 2007, shall be implemented.
 3. **Landscaping.** Substantially increase landscaping, including deep-rooted trees, along the De la Guerra Street frontage, as well as the northwest corner along Santa Barbara Street, and the area abutting the Anacapa School, allowing for potential loss of up to four parking spaces which will be offset by reducing the leased parking spaces, if needed.
 4. **Setback on Santa Barbara Street.** Increase setback to a minimum of 10 feet along Santa Barbara Street
 5. **Northerly Elevation.** The northerly elevation of the building shall be softened adjacent to Anacapa School.
 6. **Useable Common Open Space.** Adequate usable common open space shall be provided in a location accessible by all units within the development.
 7. **Pedestrian Pathway.** A separate pedestrian pathway shall be provided to the units on the property from the sidewalk using a different paving/walkway material.
 8. **Minimize Visual Effect of Paving.** Textured or colored pavement shall be used in paved areas of the project to minimize the visual effect of the expanse of paving, create a pedestrian environment, and provide access for all users.
 9. **Screened Check Valve/Backflow.** The check valve or anti-backflow devices for fire sprinkler and/or irrigation systems shall be provided in a location screened from public view or included in the exterior wall of the building.
 10. **Permeable Paving.** Incorporate a permeable paving system for the project walkway(s) that will allow a portion of the paved area runoff to percolate into the ground, except as necessary to meet Fire Department weight requirements. Materials in driveways and parking areas must be approved by the Transportation Manager.
- D. **Public Works Requirements Prior to Building Permit Issuance.** The Owner shall submit the following, or evidence of completion of the following to the Public Works Department for review and approval, prior to the issuance of a Building Permit for the project.
1. **Recordation of Agreements.** After City Council approval, the Owner shall provide evidence of recordation to the Public Works Department.

- a) Agreement Relating to Subdivision Conditions Imposed on Real Property;
- b) Land Development Agreement;
- c) Agreement Assigning Water Extraction Rights.

2. **Approved Public Improvement Plans and Issuance of Public Works Permit.** Upon acceptance of the approved public improvement plans, a Public Works permit shall be issued with a Building permit.

E. **Issuance of Pre-Construction, Demolition and Grading Permits.** Prior to issuance of general grading and building permits for the project, a permit for demolition of existing structures and grading associated with a Pre-Construction, Controlled Grading Monitoring Plan shall be issued and final inspection completed. Said permit shall include:

1. **Archaeological Monitoring Contract.** Submit to the Planning Division a contract with an archaeologist with demonstrated experience in California Spanish-Colonial Period archaeological resources from the most current City Qualified Archaeologists List, or with an archaeologist with this experience that successfully demonstrates that s/he is qualified for inclusion on the List, to prepare and undertake the following Pre-Construction, Controlled Grading Monitoring Plan. The Plan shall be subject to review and approval by the City's Environmental Analyst and Archaeological Advisor prior to the issuance of building demolition permits and grading permits for pavement and utility removal only. The Pre-Construction Controlled Plan shall include the following:
 - a. Monitoring during all ground-disturbing activities associated with the project, including, but not limited to, structural demolition, utility removal, grading, excavation, trenching vegetation or paving removal and ground clearance.
 - b. Identification of the appropriate piece of excavation equipment (i.e. rubber-tired backhoe with toothless bucket, scraper, grader, etc) required to systematically remove soils within the entire project site under the direction of the qualified archaeologist. Only one piece of excavation equipment shall be used at any one time under the supervision of the monitoring archaeologist.
 - c. The method of systematic excavation (e.g., depth of each excavation lift) shall be identified in the proposal and shall demonstrate that any unknown, potentially significant cultural resource can be carefully exposed and shall allow for inspection and potential assessment of potential cultural discoveries by the monitoring archaeologist.
 - d. Project site soils shall be systematically excavated under the direction of the monitoring archaeologist until all top soils that have a potential to

contain cultural resources deposits of Spanish-Colonial Period age are stripped and exposed. The monitoring archaeologist shall document this through photography of excavated soils and descriptions.

- e. The Pre-Construction, Controlled Grading Monitoring Plan and monitoring contract shall include the following provisions: If potentially significant historical cultural resources are encountered or suspected, work shall be halted or redirected by the archaeologist immediately and the Planning Division shall be notified. The archaeologist shall prepare a work plan to assess the nature, extent and significance of any discoveries and develop appropriate management recommendations for archaeological resource treatment consistent with the City of Santa Barbara Master Environmental Assessment Guidelines for Archaeological Resources and historic Structures and Sites (January 2002). The significance assessment work plan shall be reviewed and approved by the City's Environmental Analyst and Archaeological Advisor. In the event that the discoveries are determined to be significant, the monitoring archaeologist shall prepare a Phase 3 mitigation program proposal including excavation and analysis methods to collect sufficient information to characterize the resource, and prepare a report consistent with the City of Santa Barbara Master Environmental Assessment Guidelines for Archaeologist Resources and Historic Structures and Sites (January 2002) for Phase 3 mitigation investigations. The Phase 3 mitigation proposal shall be reviewed and approved by the City's Environmental Analyst and Archaeological Advisor. All costs of potential significance assessment and mitigation shall be borne by the project applicant.
- f. If discoveries include Native American cultural remains, the significance assessment shall include consultation and/or monitoring with a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List, preparation of further site studies and/or mitigation.
- g. If the discovery consists of possible human remains, the Owner shall contact the Santa Barbara County Coroner immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. The Owner shall retain a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Planning Division grants authorization.
- h. If the discovery consists of possible prehistoric or Native American artifacts or materials, the Owner shall retain a Barbareño Chumash

representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Planning Division grants authorization.

- i. A Pre-Construction, Controlled Grading Monitoring Plan Report shall be prepared by the monitoring archaeologist 15 days after completion of all controlled grading. The report should include the results of the monitoring, determinations as to the significance of any remains found, and recommendations for any future work that is needed. The report shall be reviewed and approved by the City's Environmental Analyst and Archaeological Advisor prior to issuance of grading permits for the balance of the proposed project excavations and soil disturbance. If a Phase 3 recovery program becomes necessary, the archaeological data recovery reports resulting from the Phase 3 activities shall be submitted to the City's Environmental Analyst and Archaeological Advisor for review and approval within six (6) months of issuance of general grading and building permits for the project.

2. **Issuance of Permits.** Grading, Building and Public Work permits shall not be issued prior to completion of condition E. above.

F. **Community Development Requirements Prior to Building or Public Works Permit Application/Issuance.** The following shall be finalized prior to, and/or submitted with, the application for any Building or Public Works permit:

1. **Contractor and Subcontractor Notification.** The Owner shall notify in writing all contractors and subcontractors of the site rules, restrictions, and Conditions of Approval. Submit a copy of the notice to the Planning Division.
2. **Traffic Control Plan.** A traffic control plan shall be submitted, as specified in the City of Santa Barbara Traffic Control Guidelines. Traffic Control Plans are subject to approval by the Transportation Manager.
3. **Historic Structures Report Mitigation.** The mitigation measures contained in the Historic structures Report prepared by Preservation Planning Associates dated August 2006, shall be implemented.
4. **Park Commission Tree Removal Approval.** Submit to the Planning Division verification of approval from the Park Commission for the removal of any street tree.
5. **Arborist's Monitoring.** Submit to the Planning Division an executed contract with a qualified arborist for monitoring during construction of all work adjacent to or above the critical root zone of existing trees to remain. The contract shall include a schedule for the arborist's presence during grading and construction activities, and is subject to the review and approval of the Planning Division.

6. **Hazardous Materials Mitigation.** In accordance with the Santa Barbara County Fire Department, Fire Prevention Division, a soil vapor survey and human health risk assessment under FPD over site shall be performed, or an engineered control to mitigate potential vapor intrusion into any planned on-site building using a method acceptable to the FPD and consistent with the Interim Final Guidance for the Evaluation and Mitigation of Subsurface Vapor Intrusion to Indoor Air shall be developed prior to the issuance of any building permit.
7. **Prepare a Structural Crack Survey and Video Reconnaissance.** At least twenty (20) days prior to the issuance of a demolition permit, Owner shall notify owners and occupants of historic structures and buildings within 300 feet of the project site property lines of the opportunity to participate in a structural crack survey and video reconnaissance of their property. Prior to the issuance of a demolition permit, Owner shall prepare a structural crack survey and video reconnaissance of the property of those owners or occupants who express a desire to participate in the survey. The purpose of the survey shall be to document the existing condition of neighboring historic structures 300 feet of the project site property line and more than 50 years old. After each major phase of project development (demolition, grading, and construction), a follow-up structural crack survey and video reconnaissance of the property of those owners and occupants who have elected to participate in the survey. Prior to issuance of a certificate of occupancy, Owner shall meet with the owners and occupants who have elected to participate in the survey to determine whether any structural damage has occurred due to demolition, grading or construction at the project site. Owner shall be responsible for the cost of repairing any structural damage caused by project demolition, grading, or construction on properties that have elected to participate in the survey.
8. **Letter of Commitment for Pre-Construction Conference.** The Owner shall submit to the Planning Division a letter of commitment that states that, prior to disturbing any part of the project site for any reason and after the Building permit has been issued, the General Contractor shall schedule a conference to review site conditions, construction schedule, construction conditions, and environmental monitoring requirements. The conference shall include representatives from the Public Works Department Engineering and Transportation Divisions, the assigned Building Inspector, the Planning Division, the Property Owner, the Archaeologist, the Architect, the Arborist, the Landscape Architect, the Biologist, the Geologist, the Project Engineer, the Project Environmental Coordinator, the Contractor and each subcontractor.
9. **Shallow Groundwater Requirements.** Prior to the issuance of any building permit, a soils report prepared by a licensed soils engineer or geologist shall be submitted to the Planning Division that indicates how deep groundwater is at the site and if any dewatering will be required during construction. Should dewatering be necessary during construction, the applicant shall submit a

dewatering plan prepared by a California Professional Geologist or a certified hydro-geologist for review by the Planning Division that includes analysis of the amount and quality of groundwater to be dewatered and a description of the methods for treatment and disposal of water that will be used. Should shallow groundwater be found on the project site, the applicant shall also submit plans, prior to the issuance of any building permit, from a licensed engineer showing that the foundation and below grade walls are designed: 1) to withstand the hydrostatic pressure associated with the level of groundwater anticipated on the site and 2) so that no operational dewatering will be necessary.

G. Building Permit Plan Requirements. The following requirements/notes shall be incorporated into the construction plans submitted to the Building and Safety Division for Building permits.

1. **Design Review Requirements.** Plans shall show all design, landscape and tree protection elements, as approved by the Historic Landmarks Commission, outlined in Section C above.
2. **Pre-Construction Conference.** Not less than 10 days or more than 20 days prior to commencement of construction, a conference to review site conditions, construction schedule, construction conditions, and environmental monitoring requirements, shall be held by the General Contractor. The conference shall include representatives from the Public Works Department Engineering and Transportation Divisions, Building Division, Planning Division, Anacapa School Representative, the Property Owner Archaeologist, Architect, Arborist, Landscape Architect, Engineer, Project Environmental Coordinator, Mitigation Monitors, Contractor and each Subcontractor.
3. **Grading Plan Requirement for Archaeological Resources.** The following information shall be printed on the grading plans:

If archaeological resources are encountered or suspected, work shall be halted or redirected immediately and the Planning Division shall be notified. The archaeologist shall assess the nature, extent, and significance of any discoveries and develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find.

Work in the area may only proceed after the Planning Division grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Planning Division grants authorization.

4. **Post-Construction Erosion Control and Water Quality Plan.** Provide an engineered drainage plan that addresses the existing drainage patterns and leads towards improvement of the quality and rate of water run-off conditions from the site by capturing, infiltrating, and/or treating drainage and preventing erosion. The Owner shall include passive water quality methods, such as bioswales, catch basins, or storm drain on the Real Property, or other measures specified in the Erosion Control Plan, to intercept all sediment and other potential pollutants (including, but not limited to, hydrocarbons, fecal bacteria, herbicides, fertilizers, etc.) from the parking lot areas and other improved, hard-surfaced areas prior to discharge into the public storm drain system, including any creeks. All proposed methods shall be reviewed and approved by the Public Works Department and the Building and Safety Division. Maintenance of these facilities shall be provided by the Owner, as outlined in Condition B.6 above, which shall include the regular sweeping and/or vacuuming of parking areas and drainage and storm water methods maintenance program.
5. **Trash Enclosure Provision.** A trash enclosure with adequate area for recycling containers (an area that allows for a minimum of 50 percent of the total capacity for recycling containers) shall be provided on the Real Property and screened from view from surrounding properties and the street.
6. **Trash Dumpsters.** Dumpsters and containers with a capacity of 1.5 cubic yards or more shall not be placed within five (5) feet of combustible walls, openings, or roofs, unless protected with fire sprinklers.
7. **Commercial Dumpsters.** Commercial dumpsters shall be provided, including, at a minimum, an equal area for recycling containers. Dumpsters shall not be placed within five feet (5') of combustible walls, openings, or combustible roof eaves lines unless sprinkler coverage is provided.
8. **Project Directory.** A project directory, (including map and parking directional signs) listing all units on-site shall be indicated on the project plans. This directory shall be lit sufficiently for readability for site visitors and placed in a location or locations acceptable to the Fire Department, shall meet current accessibility requirements, and is subject to Sign Committee Approval.
9. **Utilities.** Provide individual water, electricity, and gas meters, and sewer lateral for each residential unit. Service lines for each unit shall be separate until a point five feet (5') outside the building.

10. **Conditions on Plans/Signatures.** The final Planning Commission Resolution shall be provided on a full size drawing sheet as part of the drawing sets. Each condition shall have a sheet and/or note reference to verify condition compliance. If the condition relates to a document submittal, indicate the status of the submittal (e.g., Final Map submitted to Public Works Department for review). A statement shall also be placed on the above sheet as follows: The undersigned have read and understand the above conditions, and agree to abide by any and all conditions which is their usual and customary responsibility to perform, and which are within their authority to perform.

Signed:

Property Owner _____ Date _____

Contractor _____ Date _____ License No. _____

Architect _____ Date _____ License No. _____

Engineer _____ Date _____ License No. _____

- H. Construction Implementation Requirements.** All of these construction requirements shall be carried out in the field by the Owner and/or Contractor for the duration of the project construction. (Community Development Department staff shall review the plans and specifications to assure that they are incorporated into the bid documents, such that potential contractors will be aware of the following requirements prior to submitting a bid for the contract.)
1. **Demolition/Construction Materials Recycling.** Recycling and/or reuse of demolition/construction materials shall be carried out to the extent feasible, and containers shall be provided on site for that purpose, in order to minimize construction-generated waste conveyed to the landfill. Indicate on the plans the location of a container of sufficient size to handle the materials, subject to review and approval by the City Solid Waste Specialist, for collection of demolition/construction materials. A minimum of 90% of demolition and construction materials shall be recycled or reused. Evidence shall be submitted at each inspection to show that recycling and/or reuse goals are being met.
 2. **Sandstone Curb Recycling.** Any existing sandstone curb in the public right-of-way that is removed and not reused shall be salvaged and sent to the City Corporation Annex Yard.
 3. **Construction-Related Truck Trips.** Construction-related truck trips shall not be scheduled during peak hours (7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m.). The purpose of this condition is to help reduce truck traffic on adjacent streets and roadways.

4. **Construction Related Traffic Routes.** The route of construction-related traffic shall be established to minimize trips through surrounding residential neighborhoods, subject to approval by the Public Works Director.
5. **Haul Routes.** The haul route(s) for all construction-related trucks, three tons or more, entering or exiting the site, shall be approved by the Public Works Director.
6. **Traffic Control Plan.** All elements of the approved Traffic Control Plan shall be carried out by the Contractor.
7. **Construction Hours.** Construction (including preparation for construction work) is prohibited Monday through Friday before 7:00 a.m. and after 5:00 p.m., and all day on Saturdays, Sundays and holidays observed by the City of Santa Barbara, as shown below:

New Year's Day	January 1st*
Martin Luther King's Birthday	3rd Monday in January
Presidents' Day	3rd Monday in February
Memorial Day	Last Monday in May
Independence Day	July 4th*
Labor Day	1st Monday in September
Thanksgiving Day	4th Thursday in November
Following Thanksgiving Day	Friday following Thanksgiving Day
Christmas Day	December 25th*

*When a holiday falls on a Saturday or Sunday, the preceding Friday or following Monday, respectively, shall be observed as a legal holiday.

When, based on required construction type or other appropriate reasons, it is necessary to do work outside the allowed construction hours, contractor shall contact the Chief of Building and Safety to request a waiver from the above construction hours, using the procedure outlined in Santa Barbara Municipal Code §9.16.015 Construction Work at Night. Contractor shall notify all residents within 300 feet of the parcel of intent to carry out night construction a minimum of 48 hours prior to said construction. Said notification shall include what the work includes, the reason for the work, the duration of the proposed work and a contact number.

No noise-generating activities, including but not limited to, activities using heavy equipment, framing, sheathing and roofing, shall occur during any school-wide testing at Anacapa School. To the degree feasible, noisy construction activities shall be coordinated with Anacapa School.

8. **Construction Parking/Storage/Staging.** Construction parking and storage shall be provided as follows:
 - a. During construction, free parking spaces for construction workers and construction shall be provided on-site or off-site in a location subject to

the approval of the Public Works Director. Construction workers are prohibited from parking within the public right-of-way, except as outlined in subparagraph b. below.

- b. Parking in the public right of way is permitted as posted by Municipal Code, as reasonably allowed for in the 2006 Greenbook (or latest reference), and with a Public Works permit in restricted parking zones. No more than three (3) individual parking permits *without extensions* may be issued for the life of the project.
 - c. Storage or staging of construction materials and equipment within the public right-of-way shall not be permitted, unless approved by the Transportation Manager.
 - d. Appropriate construction equipment staging areas shall be identified, such that the short-term construction impacts to Anacapa School would be minimized.
9. **Water Sprinkling During Grading.** During site grading and transportation of fill materials, regular water sprinkling shall occur on-site, using reclaimed water whenever the Public Works Director determines that it is reasonably available. During clearing, grading, earth moving or excavation, sufficient quantities of water, through use of either water trucks or sprinkler systems, shall be applied on-site to prevent dust from leaving the site. Each day, after construction activities cease, the entire area of disturbed soil shall be sufficiently moistened to create a crust.
- Throughout construction, water trucks or sprinkler systems shall also be used to keep all areas of vehicle movement on-site damp enough to prevent dust raised from leaving the site. At a minimum, this will include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency will be required whenever the wind speed exceeds 15 mph.
10. **Expeditious Paving.** All roadways, driveways, sidewalks, etc., shall be paved as soon as possible. Additionally, building pads shall be laid as soon as possible after grading unless seeding or soil binders are used, as directed by the Building Inspector.
 11. **Gravel Pads.** Gravel pads shall be installed at all access points to the project site to prevent tracking of mud on to public roads.
 12. **Street Sweeping.** The property frontage and adjacent property frontages, and parking and staging areas at the construction site shall be swept daily to decrease sediment transport to the public storm drain system and dust.
 13. **Construction Best Management Practices (BMPs).** Construction activities shall address water quality through the use of BMPs, as approved by the Building and Safety Division.

14. **Parking Loss Requirements.** At least two (2) weeks prior to closure of the parking lot on the Real Property, the Owner shall notify all lot users, in writing, of the closure, and shall inform them of the availability of spaces in the City's commuter parking lots, and offer to pay the commuter parking lot permit cost. A copy of such notification shall be sent to the Community Development Director and Transportation Manager.

The commuter parking permits may be temporarily or permanently reduced in number or increased back to 22 permits by the City Transportation Division, if necessary, by submitting a letter to the Owner of the Real Property, which states that only a specific number of permits are available, based on the availability of parking in the commuter lots. The City is not obligated to provide permits.
15. **Tree Protection.** All trees not indicated for removal on the site plan shall be preserved, protected, and maintained, in accordance with the Tree Protection Plan, if required, and any related Conditions of Approval.
16. **Tree Protection.** Notes on the grading plan that specify the following:
 - a. No grading shall occur within three feet of the driplines of the existing tree(s).
 - b. A qualified Arborist shall be present during any excavation adjacent to or beneath the dripline of the trees which are required to be protected.
 - c. All excavation within the dripline of the trees shall be done with hand tools.
 - d. Any roots encountered shall be cleanly cut.
 - e. No heavy equipment, storage of materials or parking shall take place under the dripline of the trees.
 - f. Any root pruning and trimming shall be done under the direction of a qualified Arborist.
 - g. All trees within 25 feet of proposed construction activity shall be fenced three feet outside the dripline for protection.
17. **Tree Relocation.** The existing Mexican Fan Palm trees shall be relocated on the Real Property and shall be fenced and protected during construction.
18. **Construction Equipment Maintenance.** All construction equipment, including trucks, shall be professionally maintained and fitted with standard manufacturers' muffler and silencing devices.
19. **Noise Control Blankets/Curtains.** Noise control blankets shall be used as noise barriers for equipment noise enclosures, if required, and as noise barriers along the property line between Anacapa School and the project site in order to reduce construction noise to less than 60 dBA. The noise blanket/curtain shall have a minimum Sound Transmission Class (STC) rating of 25. A noise control

plan shall be submitted prior to any building permit issuance that shows how construction noise will be reduced for surrounding uses, with particular attention to Anacapa School.

20. **Graffiti Abatement Required.** Owner and Contractor shall be responsible for removal of all graffiti as quickly as possible. Graffiti not removed within 24 hours of notice by the Building and Safety Division may result in a Stop Work order being issued, or may be removed by the City, at the Owner's expense, as provided in SBMC Chapter 9.66.
21. **Unanticipated Archaeological Resources Contractor Notification.** Prior to the start of any vegetation or paving removal, demolition, trenching or grading, contractors and construction personnel shall be alerted to the possibility of uncovering unanticipated subsurface archaeological features or artifacts associated with past human occupation of the parcel. If such archaeological resources are encountered or suspected, work shall be halted immediately, the City Environmental Analyst shall be notified and the applicant shall retain an archaeologist from the most current City Qualified Archaeologists List. The latter shall be employed to assess the nature, extent and significance of any discoveries and to develop appropriate management recommendations for archaeological resource treatment, which may include, but are not limited to, redirection of grading and/or excavation activities, consultation and/or monitoring with a Barbareño Chumash representative from the most current City qualified Barbareño Chumash Site Monitors List, etc.

If the discovery consists of possible human remains, the Santa Barbara County Coroner shall be contacted immediately. If the Coroner determines that the remains are Native American, the Coroner shall contact the California Native American Heritage Commission. A Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

If the discovery consists of possible prehistoric or Native American artifacts or materials, a Barbareño Chumash representative from the most current City Qualified Barbareño Chumash Site Monitors List shall be retained to monitor all further subsurface disturbance in the area of the find. Work in the area may only proceed after the Environmental Analyst grants authorization.

- I. **Prior to Certificate of Occupancy.** Prior to issuance of the Certificate of Occupancy, the Owner of the Real Property shall complete the following:
 1. **Repair Damaged Public Improvements.** Repair any damaged public improvements (curbs, gutters, sidewalks, roadways, etc.) *caused by construction*, subject to the review and approval of the Public Works

Department per SBMC §22.60.090. Where tree roots are the cause of the damage, the roots shall be pruned under the direction of the *City Arborist*.

2. **Complete Public Improvements.** Public improvements, as shown in the separate C-1 public improvement plans, including utility service undergrounding and installation of street trees.
 3. **Record Drawings.** Submit Record Drawings identifying “as-built” conditions of public improvements to the Public Works Inspector for verification and approval, if original C-1 public improvement plans are edited to reflect proposed improvements, **and stamp corrected original mylars as “Record Drawings”**.
 4. **Fire Hydrant Replacement.** Replace existing nonconforming type fire hydrant(s) with commercial-type hydrant(s) described in Standard Detail 6-003.1 Paragraph 2 of the Public Works Department Standard Details.
 5. **Manholes.** Raise all sewer and water manholes on easement to final finished grade if necessitated by project improvements.
 6. **Noise Measurements.** Submit a final report from a licensed acoustical engineer, verifying that interior and exterior living area noise levels are within acceptable levels as specified in the Noise Element. In the event the noise is not mitigated to acceptable levels, additional mitigation measures shall be recommended by the noise specialist and implemented subject to the review and approval of the Building and Safety Division and the Historic Landmarks Commission (HLC).
 7. **Existing Street Trees.** Submit a letter from a qualified arborist, verifying that the existing street tree(s) have been properly pruned and trimmed.
 8. **Archaeological Monitoring Report.** A final report on the results of the archaeological monitoring shall be submitted to the Planning Division within 180 days of completion of the monitoring or prior to the issuance of the Certificate of Occupancy, whichever is earlier.
 9. **New Construction Photographs.** Photographs of the new construction, taken from the same locations as those taken of the story poles prior to project approval, shall be taken, attached to 8 ½ x 11” board and submitted to the Planning Division.
 10. **Evidence of Private CC&Rs Recordation.** Evidence shall be provided that the private CC&Rs required in Section A have been recorded.
- J. **Litigation Indemnification Agreement.** In the event the Planning Commission approval of the Project is appealed to the City Council, Applicant/Owner hereby agrees to defend the City, its officers, employees, agents, consultants and independent contractors (“City’s Agents”) from any third party legal challenge to the City Council’s denial of the appeal and approval of the Project, including, but not limited to, challenges filed pursuant to the California Environmental Quality Act (collectively “Claims”).

Applicant/Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorney fees or court costs made in connection with any Claim.

Applicant/Owner shall execute a written agreement, in a form approved by the City Attorney, evidencing the foregoing commitments of defense and indemnification within thirty (30) days of the City Council denial of the appeal and approval of the Project. These commitments of defense and indemnification are material conditions of the approval of the Project. If Applicant/Owner fails to execute the required defense and indemnification agreement within the time allotted, the Project approval shall become null and void absent subsequent acceptance of the agreement by the City, which acceptance shall be within the City's sole and absolute discretion. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorney fees, expenses, and costs of that independent defense.

NOTICE OF TENTATIVE SUBDIVISION MAP (INCLUDING NEW CONDOMINIUMS AND CONDOMINIUM CONVERSIONS) TIME LIMITS:

The Planning Commission's action approving the Tentative Map shall expire two (2) years from the date of approval. The subdivider may request an extension of this time period in accordance with Santa Barbara Municipal Code §27.07.110.

This motion was passed and adopted on the 12th day of June, 2008, by the Planning Commission of the City of Santa Barbara, by the following vote:

AYES: 3 NOES: 2 (Jacobs/White) ABSTAIN: 0 ABSENT: 2 (Larson/Myers)

I hereby certify that this Resolution correctly reflects the action taken by the City of Santa Barbara Planning Commission at its meeting of the above date.

Gabriela Feliciano, Commission Secretary

Date

THIS ACTION OF THE PLANNING COMMISSION CAN BE APPEALED TO THE CITY COUNCIL WITHIN TEN (10) DAYS AFTER THE DATE THE ACTION WAS TAKEN BY THE PLANNING COMMISSION.



City of Santa Barbara
Planning Division

Memorandum

DATE: June 11, 2008

TO: Planning Commission

FROM: Planning Division (805) 564-5470
Jan Hubbell, AICP, Senior Planner *JH*
Melissa Hetrick, Environmental Analyst *MH*
Irma Unzueta, Project Planner *IU*

SUBJECT: 800 Santa Barbara Street – Mixed Use Project (MST2006-00129)

The purpose of this memorandum is to provide the Planning Commission with additional information regarding the issue of archaeological resources associated with the project. As indicated in the Planning Commission Staff Report dated May 15, 2008, A Phase I Archaeological Resource Survey was prepared for this project by Stone Archaeological Consulting in January 2007 and accepted by the HLC on February 7, 2007.

The 2007 report concluded that the potential to encounter unknown, but potentially significant subsurface prehistoric remains (intact and not subject to previous ground disturbance) is unlikely. However, the report did acknowledge that there is the potential for unknown intact isolated historic trash pits dating to the Spanish-Colonial era to be present on the project site. These resources would be considered potentially historic under state and local criteria if they were found, and impacts to such resources would be potentially significant. Based on this, the report identified measures intended to reduce potential significant impacts, including inspection of the entire improvement area by a City-qualified historic archaeologist after removal of all structures and pavement. The report also recommended monitoring by an archaeologist of all grading until a depth is reached below potential remains disturbance. Following completion of this report, the applicant incorporated these measures into their proposed project description in order to protect and avoid any cultural resources that could be present on the site.

On April 16, 2008, City Staff was contacted by the Trust for Historic Preservation (Trust) and informed of their concern that the Phase 1 Archaeological Report, which was reviewed and accepted by the HLC in 2007, has errors and omissions. The Trust was concerned about the presence of substantial trash deposits that have been found approximately 300 feet away from the project site and the correct depiction and discussion in the report of recorded site CA-SBA-133, the location of the Spanish Presidio and chapel site. The Trust requested that the project archeologist consider information they had presented on the location of CA-SBA-133 and that an additional

subsurface investigation be conducted on the project site to further determine the presence or absence of cultural materials. In response to this request, the project archaeologist performed the subsurface excavation exactly as recommended by Michael Imwalle, Archaeologist for the Trust.

The results of the shovel test pit investigation are documented in a Supplemental Subsurface Phase 1 Archaeological Report dated May 30, 2008. The report prepared by David Stone of Dudek, concluded that none of the characteristics associated with recorded Presidio-era trash pits, including developed soil strata, and substantial accumulations of animal bone, shellfish, ceramics or tile, were encountered at the project site. Very low and diffuse densities of cultural remains, primarily animal bone and tile fragments, were identified in the shovel test pits. However, the dispersed, low concentrations of the remains, without any association with a developed soil stratum, clearly contrasted with the extensive cultural deposits and stratigraphy associated with Presidio-era trash deposits found in other Presidio-era sites. Additionally, the low density of cultural remains found on the project site have no specific association with a specific person, activity, or event that would make them capable of addressing important research questions about activities in history. Therefore, the additional archaeological investigation did not identify substantial subsurface archaeological resources that would be considered potentially significant. Further, David Stone clarified what measures he had taken to investigate site CA-SBA-133, the Presidio and Chapel site, and found no new information from the Trust that would change any information or conclusions previously contained in the Phase I report approved by HLC.

Dr. Michael Glassow, the City's Cultural Resources Advisor, has reviewed the supplemental subsurface report. Dr. Glassow acknowledged the project's proximity to the Presidio and the potential for important historical resources to exist on the property. He believes that the additional investigation undertaken by the applicant increased the information available about the prospect of buried archaeological resources, although the number and size of the shovel test pits may not have been adequate to be certain that significant cultural resources are absent. However, he does agree that ***"the close monitoring of earthmoving by a qualified historical archaeologist would be an appropriate measure to ensure that any significant resources that may be present are identified so that proper treatment may occur."***

The Trust has requested that the Supplemental Subsurface Phase 1 Archaeological Report be reviewed by the HLC before consideration of the project by the Planning Commission. It is Staff's position that the ten shovel test pits analyzed by David Stone address the Trust's previous request that subsurface archaeological excavations be undertaken prior to ground disturbance in order to further reduce the potential for encountering undisturbed trash pits associated with the Presidio-era during construction. Additionally, the shovel test pit investigation did not identify substantial subsurface cultural resources that would be considered potentially significant. The content and findings of the previously approved Phase 1 Archeological Report have not changed and the monitoring measures identified in the 2007 report continue to apply. Based on this, it is Staff's opinion that this supplemental information does not require further review by the HLC.

Unzueta, Irma

From: Michael Glassow [glassow@anth.ucsb.edu]
Sent: Tuesday, June 03, 2008 6:27 PM
To: Unzueta, Irma
Subject: Re: 800 Santa Barbara Street

Irma,
I reviewed Dudek's May 30th report concerning supplemental Phase 1 investigation at 800 Santa Barbara Street. I found that the report contains descriptions of findings consistent with standard archaeological practice. Furthermore, the findings adequately support the report's interpretations and recommendations.

Because of the proximity of the project area to the Presidio and to significant archaeological resources discovered on the Historical Society property, I continue to be concerned that important historical resources may exist on the property. The results of the new investigation increase the information available about the prospect of buried archaeological resources, but the size and number of the STPs is not adequate to be completely confident that significant cultural resources are absent. However, I agree that close monitoring of earthmoving by a qualified historical archaeologist would be an appropriate measure to ensure that any significant resources that may be present are identified so that proper treatment may occur.

--Mike Glassow

--On Tuesday, June 3, 2008 1:09 PM -0700 "Unzueta, Irma"
<IUnzueta@SantaBarbaraCA.gov> wrote:

>
> Dr. Glassow,
>
> A Phase 1 Arch. Report was prepared by David Stone in January 2007 and
> was accepted by the HLC on February 7, 2007 with monitoring conditions.
> In April 2008, a request was made by the Trust for Historic
> Preservation that subsurface archaeological excavations be undertaken
> prior to ground disturbance. In response to this request, 10 shovel
> test pits (location identified by Mike Imwalle, Archeologist) were
> performed at the project site under the direction of David Stone.
>
> A report with the results of the shovel test pits was prepared and
> submitted to City Staff. Low densities amounts of animal bone
> fragments, small pottery shreds, and several brick or Mission-Period
> tile fragments were recovered, however no evidence of a concentration
> of historic artifacts or soil development associated with an historic
> trash pit or refuse area was identified in any of the STP excavations."
>
> I am attaching for your review and comment the report prepared by
> David Stone regarding the results of the STP excavation. Also
> attached are the approved 2007 Phase 1 Arch. Report, letters from the
> State and the Trust, and responses to the Trust's letter from David
> Stone. Please comment as to the adequacy of the report and whether
> the previous conclusions of the Phase 1 continue to stand for this project site.
>
> Thank you in advance for your assistance with this review. If you
> have any questions, please do not hesitate to contact me.
>
> Irma Unzueta
> Project Planner
>
> <<800 Santa Barbara Street Supp- Ph 1 Letter Report 2.pdf>> <<800
> State Street Phase 1 Report Final 2007.pdf>> <<Letters fro State and
> Trust for Historic Preservation.pdf>> <<800 Santa Barbara Street
> Phase 1 Archaeological Report, Trust for Historic Preservation>>

Michael A. Glassow
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Fax: 805-893-8707

DUDEK

621 CHAPALA STREET
SANTA BARBARA, CALIFORNIA 93101
T 805.963.0651 F 805.963.2074

May 30, 2008

Ms. Trish Allen
Suzanne Elledge Planning & Permitting Services
800 Santa Barbara Street
Santa Barbara, CA 93101

RE: *Supplemental Subsurface Phase 1 Archaeological Investigation
800 Santa Barbara Street, Santa Barbara
APN 031-012-028*

Dear Ms. Allen:

The following presents the results of a Supplemental Subsurface Phase 1 Archaeological Investigation conducted at the proposed mixed use development, 800 Santa Barbara Street, Santa Barbara (Figure 1). Ten shovel test pits (STPs) were excavated to determine the potential for trash deposits associated with occupation during the Spanish Colonial and Mexican Period (1782-1849) and/or the Hispanic to American Transition Period (1848-1870), as defined in the City of Santa Barbara Master Environmental Assessment (MEA) Guidelines for Archaeological Resources and Historic Structures and Sites (Revised 2002).

Summary

Very low and diffuse densities of cultural remains, primarily animal bone and tile fragments, were identified in the ten STPs. No evidence of a substantial trash deposit was identified by either the amount of cultural remains recovered, or observed in the soil profile of the STPs. The remains appear to date to the Spanish Colonial and Mexican Period, and the Spanish Presidio that existed within the project site vicinity. The dispersed, low concentrations of remains, without any associated with a developed soil stratum, clearly contrast with the extensive cultural deposits and stratigraphy associated with Presidio-era trash deposits previously encountered on the Santa Barbara Historic Society property, over 300 feet (90 meters) to the southwest of the project site. The diffuse remains found at 800 Santa Barbara Street are not potentially significant under California Environmental Quality Act, as they: 1) do not have the potential to address any events that have made a significant contribution to the broad patterns of California's history and cultural heritage; 2) are not associated with the lives of persons important in our past; and 3) are not likely to yield information important in history. The proposed project description, including that a city-qualified historic archaeologist monitor ground disturbances, will ensure that the low potential for encountering a substantial Presidio-era trash deposit outside of those areas evaluated during the Supplemental Subsurface Phase 1 Archaeological Investigation is properly addressed.

Background

The Phase 1 Archaeological Resources Report prepared for this project (Stone Archaeological Consulting, January, 2007), as approved by City Historic Landmarks Committee (HLC), concluded the following:

- The project site is outside of the recorded Presidio walls, but in an area where occupation from this time period has been documented.
- Though no evidence of substantial cultural remains existed on the project site ground surface, there was a potential for encountering sub-surface historical remains associated with the Presidio-era, given the location of substantial trash deposits dating from this period at the Santa Barbara Historical Society property, approximately 300 feet (90 meters) to the southwest of the project site.
- Potential project impacts on unknown, buried Presidio-era cultural deposits would be mitigated to less than significant by retaining a city-qualified historic archaeologist to monitor these disturbances.

Over 15 months after the approval of the Phase 1 Archaeological Resources Report by the HLC, concerns were raised by the Trust for Historic Preservation regarding the adequacy its conclusions and recommendations. The concerns included the following:

- The presence of substantial Presidio-era trash deposits in the project vicinity at the Santa Barbara Historical Society property over 300 feet away increased the likelihood that similar significant cultural remains could be present within the proposed project site area.
- A program of 10 shovel test pits, distributed throughout the proposed project site, was necessary to sufficiently evaluate the potential for intact, potentially significant Presidio-era subsurface deposits within the proposed project site area.

Supplemental Subsurface Phase 1 Field Methods

The proposed STP excavation program requested by the Trust for Historic Preservation was precisely implemented (Figure 2). The STPs were spaced approximately 15 to 20 feet (5 to 7 meters) along three arrays. The STPs were excavated with an 18-inch diameter. Soils from the excavations were recorded in 8-inch (20-centimeter [cm]) increments, and were screened through 1/8-inch mesh. STP depths ranged from 16 to 32 inches (40 to 80 cm) deep and were excavated at least 20 cm below the deepest collection of cultural material.

Excavations were undertaken under my supervision. I was assisted by Ken Victorino, M.A., RPA, who has over 19 years of experience, 8 within Santa Barbara County. The field crew consisted of Jason Toohey, M.A. and Ph.D. candidate at the University of California, Santa Barbara (UCSB), Elizabeth Sutton, M.A. and Ph.D. candidate at UCSB and Fred Schaeffer, B.A., UCSB. All crew members have between 5 and 10 years experience in the Santa Barbara area.

Supplemental Subsurface Phase 1 Field Results

Results of the STP excavations are presented below. STP forms are included in their entirety in Appendix A. Artifact tables are included as Appendix B.

Stratigraphy

Representative soil horizons encountered in the STPs are illustrated in Figures 3, 4, and 5.

The stratigraphy of project soils throughout the project site was relatively simple. The top stratum (called Horizon A) was a brown silty loam between 30 and 50 cm (12 and 20 inches) deep. These soils are consistent with the description of Milpitas-Positas fine sandy loam that is mapped in this location (USDA 1981). Below this stratum (Horizon B), a yellowish-brown sandy clay hardpan was encountered. This clay is consistent with the "dark yellowish brown clay" described for soils in this area, commonly found at between 25 to 33 inches below surface (USDA 1981). The organization of the topsoil and clay hard pan was uniform throughout all the STPs. STP excavations indicated that Horizon A soils containing cultural materials were deepest in the northwest corner of the project area, and became shallower heading towards the south and east.

Cultural Remains

Cultural material was only found in the top Horizon A soils, while the Horizon B clays were culturally sterile. All STPs were excavated a minimum of 20 to 30 cm (8 to 12 inches) through the Horizon B clay soils, to ensure that no deeply buried cultural deposits were present. A representation of all cultural materials recovered from the 10 STPs is included in Appendix A.

Cultural remains were recovered in extremely low densities throughout all the STPs, but were uniformly low to very low in number and density. These cultural materials all were associated with the Spanish Colonial and Mexican Period (1782-1849), or the Hispanic to American Transition Period (1848-1870).

Animal Bone: Medium to large mammal bone was the cultural constituent with the highest overall count from the ten STPs. Of the 77 pieces of bone, cut marks observed on several of the larger bone fragments. Larger, identifiable pieces are cow, while most pieces are quite fragmentary and unidentifiable. The highest frequency of bone was recovered in STP 3 (35 pieces amounting to 193 grams [less than 0.1 pounds], near the northwest corner of the project site, where Horizon A soils were deepest. The next highest concentration of bone is in STP 7 and 9, though the counts are far less (9 and 10 grams, respectively). Though the highest number of bone items and weights were within STP 3, the soil profile in this excavation area did not represent a substantial accumulation

of human bone within a developed cultural soil matrix (i.e., a midden soil) (see Figure 3). The absence of substantial numbers of bone in a developed cultural soil horizon contrasts with the nature and extent of trash pit features recorded at the Santa Barbara Historical Society, where thousands of grams of animal bone were recovered in Phase 2 testing (Applied Earthworks 2002) and construction monitoring (Applied Earthworks 2002). The relatively sparse concentrations of bone are also not associated with a particular activity locus or area, unlike the clearly defined, high density Presidio-era trash deposits identified at the Santa Barbara Historical Society. They therefore cannot be associated with any particular individual, such as Teodoro Arrellanes, the owner of the nearest Presidio-era adobe to the northeast.

Tile and Brick: The cultural material with the next highest component represented consisted of fragments of Mission-Period tile or brick. None of the tile fragments, however, could be clearly identified as a roof or floor tile. Extremely few numbers of tile fragments were found in any one STP; the highest number, five (weighing 36 grams, or 0.16 pounds), were recovered in STP 1. Three fragments were each recovered in STPs 3, 9, and 10. This reflects a diffuse distribution of waste materials associated with Presidio-era occupation throughout the project site. Similar to the results for animal bone, the tile fragments, recovered in the absence of any cultural soil development or in association with substantial accumulations of other refuse, do not reflect a specific activity undertaken at the project site, or the potential for a structural feature including a floor, wall, or roof. The relatively sparse concentrations of tile fragments, similar to the bone remains, contrast with the clearly defined, high density Presidio-era trash deposits identified with at the Santa Barbara Historical Society.

Ceramics: Ceramics are an integral component of any significant historic trash pit feature, as patterns are extremely diagnostic, and capable of providing a chronological indication of the feature's deposition. The variety in ceramic ware, both in its origin of manufacture and commercial value, can address important research issues relative to patterns of social stratification (the presence of higher value ceramics indicative of greater wealth and status), and increasing economic interdependence with European markets. Only nine pieces of ceramics were recovered from all ten STPs. The highest number was found in STP 3 (three pieces). The small size of the fragments precluded any clear identification of ceramic ware type, except for one small, flat piece of blue-on-white Majolica ware (perhaps a plate fragment) recovered from STP 3 associated with Spanish Colonial occupation. This piece of ceramic is capable of demonstrating that at least some of the diffuse cultural remains recovered throughout the STPs are associated with Presidio-era occupation. The ceramic fragments, similar to animal bone and tile fragments, were not associated with concentrations of artifacts or soil development associated with a trash pit.

This sole piece of Majolica ware indicates that there is extremely little potential for the low density cultural remains to address potential research questions regarding social stratification and economic relationships of the Spanish Colonial populations with European influences.

Shellfish: Along with animal bone, shellfish remains are commonly observed in substantial accumulations of refuse within historic archaeological sites. This cultural component was identified in extremely high densities (thousands of grams/cubic meter) in the Presidio-era trash deposits identified at the Santa Barbara Historical Society (Applied Earthworks 2002, 2006). Importantly, shellfish was nearly non-existent within the ten STPs excavated. Only one piece of California mussel (*Mytilus californianus*), was recovered from STP 10. This piece of shell, found without any association with a developed soil horizon (a midden), provides no statistically significant information to address issues of Presidio-era diet at the project site. The absence of substantial numbers of shellfish in a developed cultural soil horizon contrasts with the nature and extent of trash pit features recorded at the Santa Barbara Historical Society, where thousands of grams of shellfish were recovered in Phase 2 testing (Applied Earthworks 2002) and construction monitoring (Applied Earthworks 2006).

Modern Debris: Like the historic cultural components recovered, very little modern refuse including metal and glass were recovered within the ten STPs. Though these materials were found throughout excavated soil levels, in some cases as deep as 60 cm (24 inches) in STP 4, the presence of the materials can be attributed to gopher burrowing (known to result in the movement of soils as deep as 60 cm [24 inches]). The relatively small number of materials (the greatest being six pieces in STP 4) suggests that the project soils appear to be relatively intact.

Conclusions

Excavation of ten STPs, with spacing identified by a Trust for Historic Preservation archaeologist, was capable of providing a reasonable assessment of the potential to encounter a substantial trash deposit associated with Presidio-era occupation. Such features have been identified during excavations at the Santa Barbara Historical Society property 300 feet away. Extensive archaeological excavations and construction monitoring of soil disturbances at that site indicate that historic trash pits have highly developed soil stratigraphy, midden soil horizons resulting from repeated deposition of organic food wastes including shellfish and bone. Cultural constituents recovered in these extensive trash pits include substantial quantities of animal bone, shellfish, and ceramics.

The spacing of the ten STPs of between 15 to 20 feet (5 to 7 meters), as requested by a Trust for Historic Preservation archaeologist, was sufficient to evaluate the variability of cultural deposits within the project site. None of the cultural characteristics associated with recorded Presidio-era trash pits, including developed soil strata, and substantial accumulations of animal bone, shellfish, ceramics, or tile, were encountered at the 800 Santa Barbara Street project site. The diffuse, low density distribution of archaeological remains is in stark contrast to trash pits found and analyzed at the Santa Barbara Historical Society.

The California Environmental Quality Act (CEQA) Guidelines Section 15064.5.a3 criteria states:

Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852) including the following:

- a. is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
- b. is associated with the lives of persons important in our past;
- c. embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work on an important creative individual, or possesses high artistic values; or
- d. has yielded, or may be likely to yield, information important in prehistory or history.

The lack of any discernable feature or discrete concentration of historic artifacts and soil development within any of the ten STPs excavated during this investigation indicate that there remain no known potentially significant historic resources within the proposed project site impact areas that are capable of fulfilling California Register of Historical Resources criteria.

The proposed project description includes the provision for systematic monitoring of all ground disturbances onsite by a city-qualified historic archaeologist. In the event that an unknown artifact concentration were to be identified between the STP locations, the resource would be assessed consistent with City of Santa Barbara Master Environmental Assessment (MEA) Guidelines for Archaeological Resources and Historic Structures and Sites (Revised 2002). As originally designed, this project component would ensure that any impact on unknown, potentially significant historic resources would be mitigated to less than significant.

Ms. Trish Allen
May 30, 2008
Page 7 of 7

If you or any City staff have any questions regarding this report, please do not hesitate to give me a call at (805) 963-0651, ext. 3525. I may also be e-mailed at dstone@dudek.com.

Sincerely yours,

A handwritten signature in cursive script that reads "David Stone". The signature is written in black ink on a light-colored background.

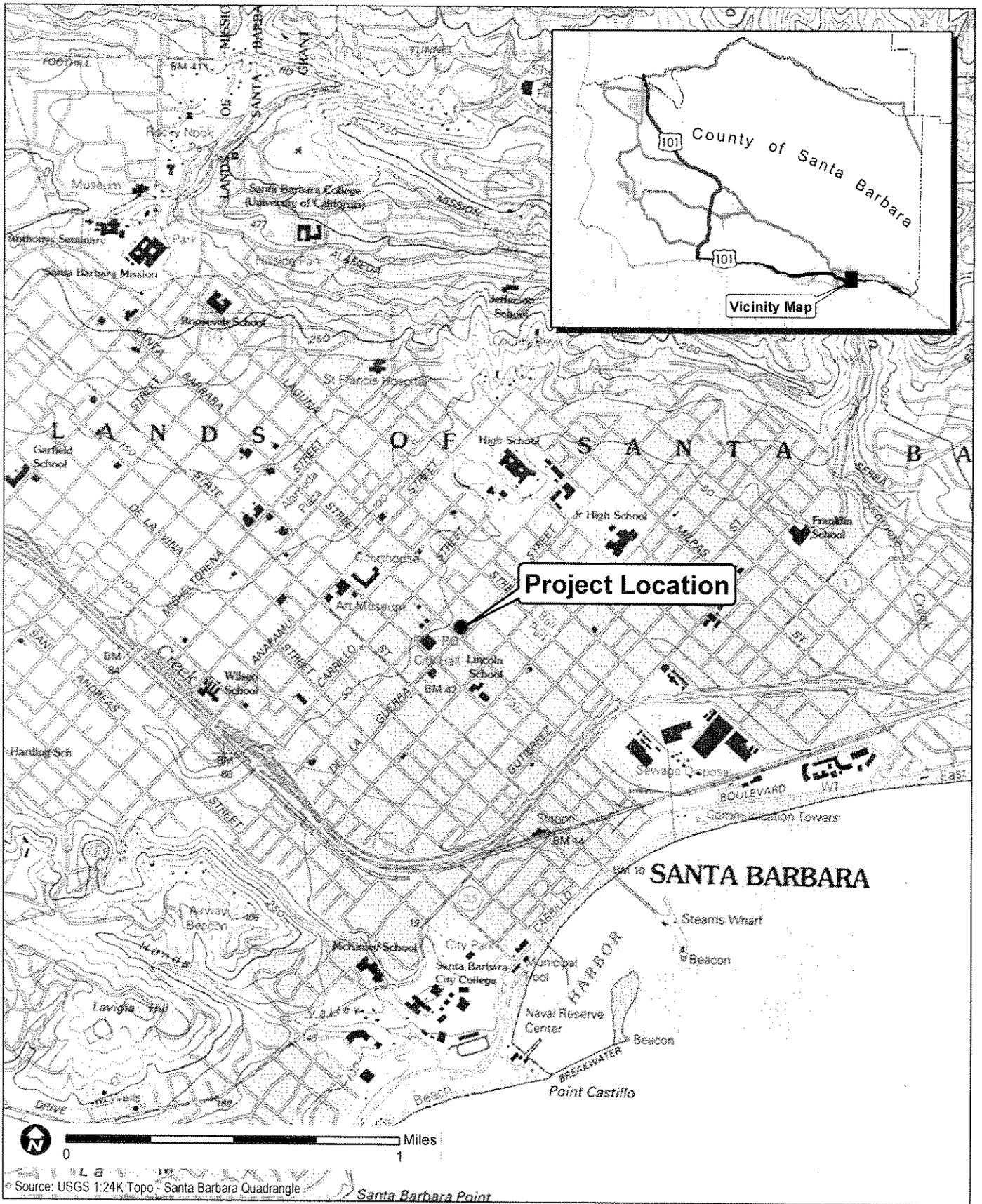
David Stone, M.A., RPA
Cultural Resources Manager

References

Applied Earthworks. 2006. Results of Construction Monitoring at the Santa Barbara I Manufactured Gas Plant Site Remediation Project. Prepared for Southern California Edison

_____. 2002. Test Excavations and Evaluation of Historical Archaeological Resources: Santa Barbara I Manufactured Gas Plant Site Remediation Project. Prepared for Southern California Edison

Stone Archaeological Consulting. 2007. Phase 1 Archaeological Resources Report, 800 Santa Barbara Street, Santa Barbara, CA APN 051-012-028. Prepared for 800 Santa Barbara Street LLC.



DUDEK

Supplemental Subsurface Phase I Report, 800 Santa Barbara Street
Project Vicinity Map

FIGURE
I

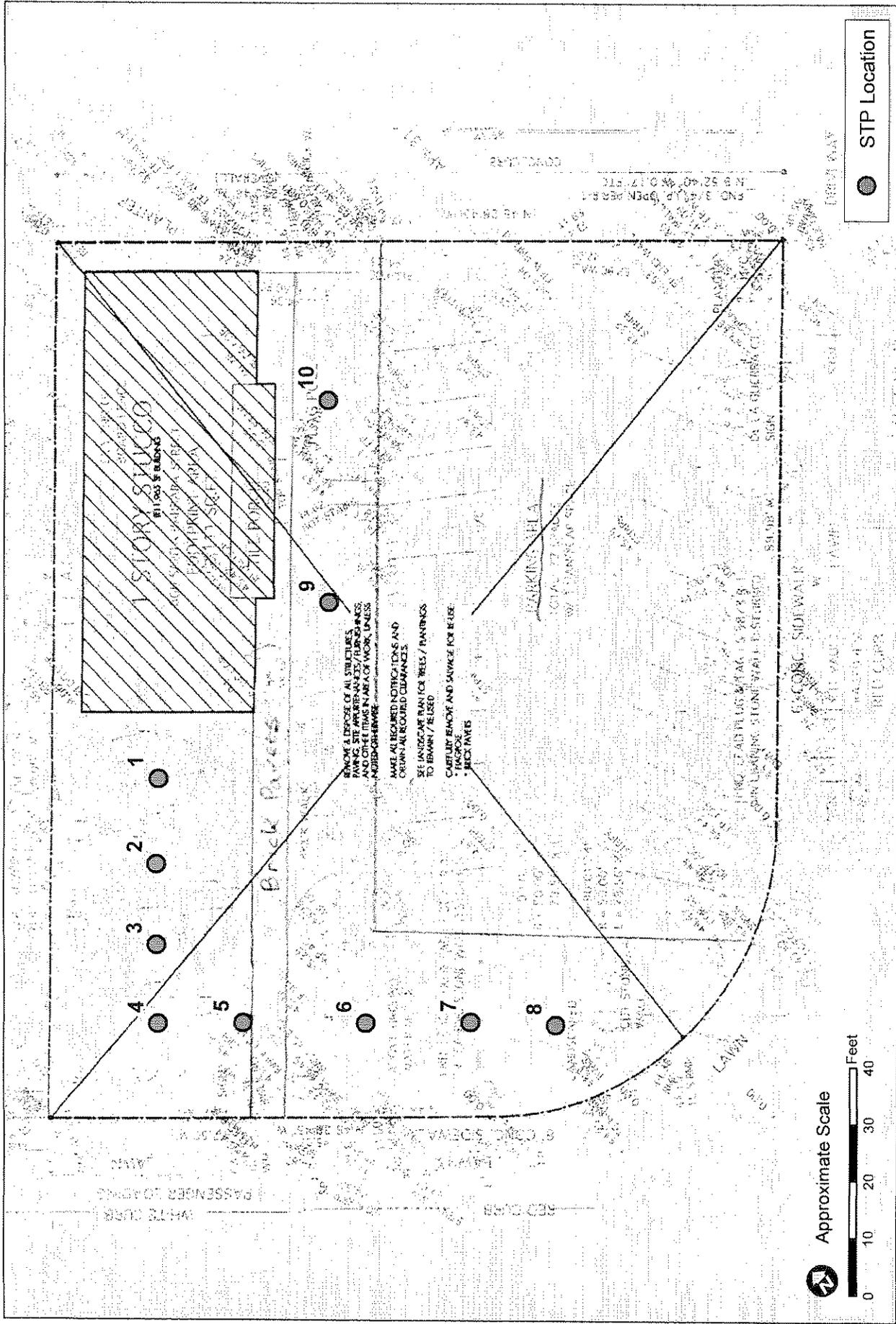


FIGURE 2

**Supplemental Subsurface Phase I Report, 800 Santa Barbara Street
Subsurface Phase I Shovel Test Pit Locations**



STP 2



STP 3

DUDEK

Supplemental Subsurface Phase I Report, 800 Santa Barbara Street
Shovel Test Pit Profiles

FIGURE
3



STP 4



STP 5

DUDEK

Supplemental Subsurface Phase I Report, 800 Santa Barbara Street
Shovel Test Pit Profiles

FIGURE
4



STP 6



STP 7

DUDEK

Supplemental Subsurface Phase I Report, 800 Santa Barbara Street
Shovel Test Pit Profiles

FIGURE
5

APPENDIX A
SHOVEL TEST PIT FORMS

DUDEK
SHOVEL TEST PIT/AUGER FORM

Project Name: Supplemental Subsurface Phase 1 Investigation

Site: 800 Santa Barbara Street, Santa Barbara, CA

STP/Auger: STP 1

Date Opened: 5/9/08

Brief Description of Each Level: (for each soil change, please note Munsell color, soil type, compaction, moisture, type & degree of disturbance, type & amount of cultural material, etc.)

This STP is closest to the west side of the existing 800 Santa Barbara Street building.

Level 1 (0-20cm) – This is a loose, dark brown loam with many roots from a nearby tree. A hand saw was necessary to remove many of these roots. Materials collected included; one tile fragment, and one possible Monterey chert flake. The chert does not have well-developed flake scars, shows cortex, and could very well be imported gravel, particularly being in this top level.

Level 2 (20-40cm) – The soil has more and more of the hard clay content as we get deeper in this level. The hard packed clay layer begins at ~30cm). Only small, eroded tile fragments were recovered.

Level 3 (40-60cm) – This level was exclusively the very hard packed tan/brown clay material. It was excavated with a breaker bar and no cultural materials were collected. The STP was terminated at 50cm.

Diameter of STP/Auger: 30cm

Termination Depth: 50cm

Total Volume:

Justification for Closing STP/Auger:

1) Bedrock 2) Below Project Impacts 3) Sterile Level 4) Cave In 5) Other Sterile clay hard pan level _____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y_____ Amount (Number of Bags/Buckets): 2_____

Excavator: Fred Schaffer_____ Screener: Jason Toohey_____ Crew Chief: Jason Toohey_____

DUDEK
SHOVEL TEST PIT/AUGER FORM

Project Name: Supplemental Subsurface Phase 1 Investigation

Site: 800 Santa Barbara Street, Santa Barbara, CA

STP/Auger: STP 2

Date Opened: 5/9/08

Brief Description of Each Level: (for each soil change, please note Munsell color, soil type, compaction, moisture, type & degree of disturbance, type & amount of cultural material, etc.)

Level 1 (0-20cm) – Loose, dark brown sandy loam top soil with many roots from the nearby trees (10YR2/1). Several small artifacts were bagged from this level.

Level 2 (20-40cm) – A color change occurs at approx. 21 cm below surface – new soil is a moist, mottled sandy clay (10YR5/4). This clay is not as compact as has been the case in other STPs, but it seems to be the same material. One bone fragment was collected.

Level 3 (40-60cm) – This is the mottled tan/brown clay hard pan (10YR5/4) soil. It becomes compact at approximately 40cm. This level was culturally sterile.

Diameter of STP/Auger: 30cm

Termination Depth: 60cm

Total Volume:

Justification for Closing STP/Auger:

1) Bedrock 2) Below Project Impacts 3) Sterile Level 4) Cave In 5) Other Sterile clay hard pan level _____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y_____ Amount (Number of Bags/Buckets): 2_____

Excavator: Mixed_____ Screener: Mixed_____ Crew Chief: Jason Toohey_____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y _____ Amount (Number of Bags/Buckets): 3 _____

Excavator: Mixed _____ Screener: Mixed _____ Crew Chief: Jason Toohey _____

DUDEK

SHOVEL TEST PIT/AUGER FORM

Project Name: Supplemental Subsurface Phase 1 Investigation

Site: 800 Santa Barbara Street, Santa Barbara, CA

STP/Auger: STP 4

Date Opened: 5/8/08

Brief Description of Each Level: (for each soil change, please note Munsell color, soil type, compaction, moisture, type & degree of disturbance, type & amount of cultural material, etc.)

Level 1 (0-20cm) – This is a loose, loamy, very organic top soil just below a bed of ivy. Materials collected included 1 modern glass marble, and two modern glass bottle fragments.

Level 2 (20-40cm) – This level is a loose, sandy loam of a slightly lighter brown color than above. The level also contained a high density of roots.

Level 3 (40-60cm) – This is a dark brown, loose sandy loam with fewer roots than above (10YR3/4). Materials collected include: Two modern green glass fragments, and one white ceramic fragment.

There is an important soil change at ~53cm – a change to a lighter, tan/brown compacted dry clay (mottled) (10YR5/4).

Level 4 (60-80) – Dry medium compacted clay of a light tan color (10YR6/6). We are excavating with the breaker bar within this level. This clay is culturally sterile.

Diameter of STP/Auger: 30cm

Termination Depth: 80cm

Total Volume:

Justification for Closing STP/Auger:

1) Bedrock 2) Below Project Impacts 3) Sterile Level 4) Cave In 5) Other; Sterile clay hard pan level _____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y _____ **Amount (Number of Bags/Buckets):** 4 _____

Excavator: Mixed _____ Screener: Mixed _____ Crew Chief: Jason Toohey _____

DUDEK
SHOVEL TEST PIT/AUGER FORM

Project Name: Supplemental Subsurface Phase 1 Investigation

Site: 800 Santa Barbara Street, Santa Barbara, CA

STP/Auger: STP 5

Date Opened: 5/9/08

Brief Description of Each Level: (for each soil change, please note Munsell color, soil type, compaction, moisture, type & degree of disturbance, type & amount of cultural material, etc.)

Level 1 (0-20cm) – This level is a very loose, dark brown loam top soil just below the ivy. It contains many roots and leaves from above. Materials collected here include one bone fragment and one tile fragment.

Level 2 (20-40cm) – This is the dry, sandy clay mottled hardpan. It is culturally sterile. No materials were collected.

Level 3 (40-60cm) – This is a continuation of the very compacted sandy clay hardpan (10YR4/6). One small bone fragment was recovered (between 40-45cm), but I strongly suspect that it fell from a sidewall above.

Diameter of STP/Auger: 30cm

Termination Depth: 60cm

Total Volume:

Justification for Closing STP/Auger:

1) Bedrock 2) Below Project Impacts 3) Sterile Level 4) Cave In 5) Other Sterile clay hard pan level _____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y_____ Amount (Number of Bags/Buckets): 2_____

Excavator: Fred Schaffer_____ Screener: Jason Toohey_____ Crew Chief: Jason Toohey_____

Cultural Materials Present (Y or N): Y_____ Amount (Number of Bags/Buckets): 2_____

Excavator: Fred_____ Screener: Liz Sutton_____ Crew Chief: Jason Toohey_____

DUDEK
SHOVEL TEST PIT/AUGER FORM

Project Name: Supplemental Subsurface Phase 1 Investigation

Site: 800 Santa Barbara Street, Santa Barbara, CA

STP/Auger: STP 7

Date Opened: 5/9/08

Brief Description of Each Level: (for each soil change, please note Munsell color, soil type, compaction, moisture, type & degree of disturbance, type & amount of cultural material, etc.)

0-10 cm Sod (removed and replaced)

Level 1 (10-30cm) – This was a loose, wet sandy loam top soil of medium brown color (10YR3/2). Materials collected included one white glazed ceramic fragment, bone fragments, and clear glass fragments.

Level 2 (30-50cm) – This soil is still relatively loose but it is getting into the more compact mottled clay hard pan. There is a definite color change to 10YR4/6. From higher in this level we collected one large mammal, cut bone femur fragment and several smaller fragments. One fragment of clear glass as well.

Level 3 (50-70cm) – This level is composed of the same light brown clay layer. It was excavated by breaker bar to 60cm. This level was culturally sterile.

Diameter of STP/Auger: 30cm

Termination Depth: 60cm

Total Volume:

Justification for Closing STP/Auger:

1) Bedrock 2) Below Project Impacts 3) Sterile Level 4) Cave In 5) Other Sterile clay hard pan level _____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y_____ Amount (Number of Bags/Buckets): 2_____

Excavator: Jason Toohey_____ Screener: Fred Schaffer_____ Crew Chief: Jason Toohey_____

DUDEK
SHOVEL TEST PIT/AUGER FORM

Project Name: Supplemental Subsurface Phase 1 Investigation

Site: 800 Santa Barbara Street, Santa Barbara, CA

STP/Auger: STP 8

Date Opened: 5/8/08

Brief Description of Each Level: (for each soil change, please note Munsell color, soil type, compaction, moisture, type & degree of disturbance, type & amount of cultural material, etc.)

This is the STP in the far SW corner of the project area.

Level 1 (0-20cm) – This is a relatively loose medium brown sandy loam top soil. Brown glass and bone fragment collected.

Level 2 (20-40cm) – This level sees increasing compaction and humidity. The soil is increasingly clayey. The transition is not as obvious here, but it is clear that the tan clay level begins within this level. The clay hard pan begins at approximately 25cm in this STP. Monterey chert small chunk, unmodified, two small bone fragments.

Level 3 (40-60cm) – This level consists of the compacted tan/brown clay hard pan layer. It is culturally sterile. Due to the moistness of the clay here, the breaker bar is only putting holes in the clay – no breaking. Due to this, the STP was closed at 42cm. No materials were collected.

Diameter of STP/Auger: 30cm

Termination Depth: 42cm

Total Volume:

Justification for Closing STP/Auger:

1) Bedrock 2) Below Project Impacts 3) Sterile Level 4) Cave In 5) Other Sterile clay hard pan level _____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y _____ Amount (Number of Bags/Buckets): 1 _____

Excavator: Fred _____ Screener: Liz Sutton _____ Crew Chief: Jason Toohey _____

DUDEK
SHOVEL TEST PIT/AUGER FORM

Project Name: Supplemental Subsurface Phase 1 Investigation

Site: 800 Santa Barbara Street, Santa Barbara, CA

STP/Auger: STP 9

Date Opened: 5/9/08

Brief Description of Each Level: (for each soil change, please note Munsell color, soil type, compaction, moisture, type & degree of disturbance, type & amount of cultural material, etc.)

This STP is on the lawn just southwest of the main building entrance.

0-10 cm Sod (removed and replaced)

Level 1 (10-30cm) – This a relatively loose, sandy loam top soil. We encountered a PVC pipe at approximately 15cm depth – so we expanded the STP to the west to avoid it.

Level 2 (30-50cm) – In this level, we began to encounter the lighter colored sandy clay hard pan (10YR4/6). The layer was culturally sterile. The unit was excavated to approx 35cm.

Diameter of STP/Auger: 30cm

Termination Depth: 35cm

Total Volume:

Justification for Closing STP/Auger:

1) Bedrock 2) Below Project Impacts 3) Sterile Level 4) Cave In 5) Other Sterile clay hard pan level _____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y _____ **Amount (Number of Bags/Buckets):** 1 _____

Excavator: Fred Schaffer _____ **Screeners:** Jason Toohey _____ **Crew Chief:** Jason Toohey _____

DUDEK
SHOVEL TEST PIT/AUGER FORM

Project Name: Supplemental Subsurface Phase 1 Investigation

Site: 800 Santa Barbara Street, Santa Barbara, CA

STP/Auger: STP 10

Date Opened: 5/8/08

Brief Description of Each Level: (for each soil change, please note Munsell color, soil type, compaction, moisture, type & degree of disturbance, type & amount of cultural material, etc.)

This STP is on the lawn just southeast of the main building entrance.

0-10 cm Sod (removed and replaced)

Level 1 (10-30cm) – A medium brown, damp sandy loam. Little compaction. No cultural materials.

Level 2 (30-50cm) – The clay content of soil matrix is increasing with depth in this level. The soil color is also becoming lighter. Cultural material includes two brick fragments. Also a heated mammal bone fragment.

Level 3 (50-70cm) – This level is a mottled yellow sandy clay (10YR4/4). This matrix is well compacted and humid clay. This clay level is culturally sterile – no materials were observed or collected.

Diameter of STP/Auger: 30cm

Termination Depth: 70cm

Total Volume:

Justification for Closing STP/Auger:

1) Bedrock 2) Below Project Impacts 3) Sterile Level 4) Cave In 5) Other Sterile clay hard pan level _____

Special Samples (Pollen, Flotation, C-14, Soil): _____

Cultural Materials Present (Y or N): Y_____ Amount (Number of Bags/Buckets): 2_____

Excavator: Fred Schaffer_____ Screener: Liz Sutton_____ Crew Chief: Jason Toohey_____

APPENDIX B
ARTFACT TABLES

Memorandum

To: Irma Unzueta, Project Planner
Community Development Department
City of Santa Barbara

Trish Allen, Project Planner
Suzanne Elledge Planning & Permitting Services

From: David Stone

Date: May 13, 2008

Subject: Results of Subsurface Archaeological Investigations
800 Santa Barbara Street, Santa Barbara
APN 031-012-028

This memo summarizes the results of subsurface archaeological investigations completed at 800 Santa Barbara Street, Santa Barbara, on May 8, and 9, 2008. Ten shovel test pits (STPs) were excavated under my direction throughout the proposed building envelope associated with a proposed commercial structure. The investigation was undertaken at the request of Community Development Department staff in order to evaluate the potential for sub-surface trash deposits dating to the Spanish Colonial and Mexican Period (1782-1849) and/or the Hispanic to American Transition Period (1848-1870), as defined in the City of Santa Barbara Master Environmental Assessment (MEA) Guidelines for Archaeological Resources and Historic Structures and Sites (Revised 2002).

Low densities amounts of animal bone fragments, small pottery sherds, and several brick or Mission-Period tile fragments were recovered. However, no evidence of a concentration of historic artifacts or soil development associated with an historic trash pit or refuse area was identified in any of the STP excavations. The general low density of historic materials indicates that it is unlikely the trash pits associated with either the occupation of the Presidio located to the northwest, or the Teodoro Arrellanes adobe, located to the northeast, exist on the project site. Monitoring of controlled grading, as identified in the approved Phase 1 Archaeological Report (Stone Archaeological Consulting, 2007), will ensure that this low likelihood is assessed consistent with the City of Santa Barbara Master Environmental Assessment (MEA).

The location of the ten shovel test pits is indicated on the attached sketch map. Their distribution was suggested my Michael Imwalle, Trust for Historic Preservation archaeologist, in order to assess any spatial variability in the distribution of sub-surface

artifacts. The STPs were excavated with an 18-inch diameter. Soils from the excavations were recorded in 20-centimeter (8-inch) increments, and were screened through 1/8-inch mesh.

STP depths ranged from 40 to 80 cm (16 to 32 inches) deep. The stratigraphy of project soils was relatively simple. The top stratum (called Horizon A) was a brown silty loam between 30 and 50 cm (12 and 20 inches) deep. These soils are consistent with the description of Milpitas-Positas fine sandy loam that is mapped in this location (USDA 1981). Below this stratum (Horizon B), a yellowish-brown sandy clay hardpan was encountered. This clay is consistent with the "dark yellowish brown clay" described for soils in this area, commonly found at between 25 to 33 inches below surface (USDA 1981).

Cultural material was only found in the top Horizon A soils, while the Horizon B clays were culturally sterile. All STPs were excavated a minimum of 20 to 30 cm (8 to 12 inches) through the Horizon B clay soils, to ensure that no deeply buried cultural deposits were present.

The organization of the topsoil and clay hard pan was uniform throughout all the STPs. STP excavations indicated that Horizon A soils containing cultural materials were deepest in the northwest corner of the project area, and became shallower heading towards the south and east.

Cultural remains were recovered throughout all the STPs, but were uniformly low to very low in number and density. These cultural materials all were associated with the Spanish Colonial and Mexican Period (1782-1849), or the Hispanic to American Transition Period (1848-1870). By far the material with the greatest number and volume was small to medium mammal bone, with cut marks observed on several of the larger bone fragments. The next highest cultural component represented were fragments of Mission-Period tile or brick. None, however, were clearly identified as a roof or floor tile. The only discernable piece of ceramics was a piece of blue-on-white Majolica ware, associated with Spanish Colonial occupation. The highest frequency of bone was recovered in STP 3, near the northwest corner of the project site, where Horizon A soils were deepest. The Majolica ceramic fragment was recovered from this STP. This STP, like all others, did not reveal evidence of any concentrations of artifacts or soil development associated with a trash pit.

Michael Imwalle graciously visited the project at the end of the first day of excavations, after 6 STPs had been completed spaced throughout the site. It is our understanding that he agreed with our conclusions that the STPs had not indicated the presence of a potentially significant feature or trash deposit associated with the Spanish Colonial and Mexican Period (1782-1849), or the Hispanic to American Transition Period (1848-1870).

Dudek is preparing a final report of these investigations in the next week. Please let me know if you have any questions regarding this summary.

References

Stone Archaeological Consulting. 2007. Phase 1 Archaeological Report, 800 Santa Barbara Street, Santa Barbara, California. APN 031-012-028.

United States Department of Agriculture. 1981. *Soil Survey of Santa Barbara County, California, South Coastal Part*. Soil Conservation Service.

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PHASE 1 ARCHAEOLOGICAL RESOURCES REPORT

**800 SANTA BARBARA STREET
SANTA BARBARA, CALIFORNIA
APN 031-012-028**

Prepared For:

**800 Santa Barbara Street LLC
800 Santa Barbara Street
Santa Barbara, CA 93101**

Prepared By:

David Stone, M.A.

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stonearcheo@yahoo.com
(805) 682-6768**

January, 2007

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CITY OF SANTA BARBARA
PLANNING DIVISION

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1.0 Executive Summary

This report presents an evaluation of potential archaeological resources and impacts resulting from proposed development at 800 Santa Barbara Street, Santa Barbara, California (Figure 1), and satisfies the requirements of the Santa Barbara City Master Environmental Assessment (MEA) Guidelines for Archaeological Resources and Historic Structures and Sites (January 2002) for a Phase 1 investigation within the Spanish Colonial and Mexican Period (1782-1849), Hispanic to American Transition Period (1848-1870), American Period (1870-1900), and Early Twentieth Century (1900-1920) sensitivity zones. This investigation consisted of background research at the California Archaeological Inventory Central Coast Information Center, University of California, Santa Barbara, the Santa Barbara Public Library, City of Santa Barbara Community Development Department, and fieldwork.

Historic research indicates that 800 Santa Barbara Street was developed as early as 1916-1917 or perhaps earlier; the area is outside of the historic Santa Barbara Presidio walls. Few historic and no prehistoric cultural remains were observed.

The potential for the proposed project to encounter unknown but potentially significant subsurface prehistoric remains is considered very unlikely. Therefore, project impacts on prehistoric resources are considered to be less than significant. There is, however, the potential for encountering unknown, but potentially significant historic resources associated with the Spanish Colonial Period within the project site. Construction monitoring would be required for the duration of ground disturbing activities to address this potentially significant impact. Residual impacts on archaeological resources would be less than significant.

2.0 Project Description

Proposed improvements to the lot are associated with the following (Figure 2):

- Demolition of approximately 1,965-square feet (s.f.) of existing office space;
- Construction of mixed use structures including;
 - A commercial office space totaling approximately 2,281-s.f.;
 - Eight condominium units totaling approximately 15,997-s.f.; and
 - An underground parking garage of 14,560-s.f.

Excavation for construction is expected to extend up to 12 feet below the present grade of intact soils to include the removal of approximately 5,076-cubic yards (c.y.).

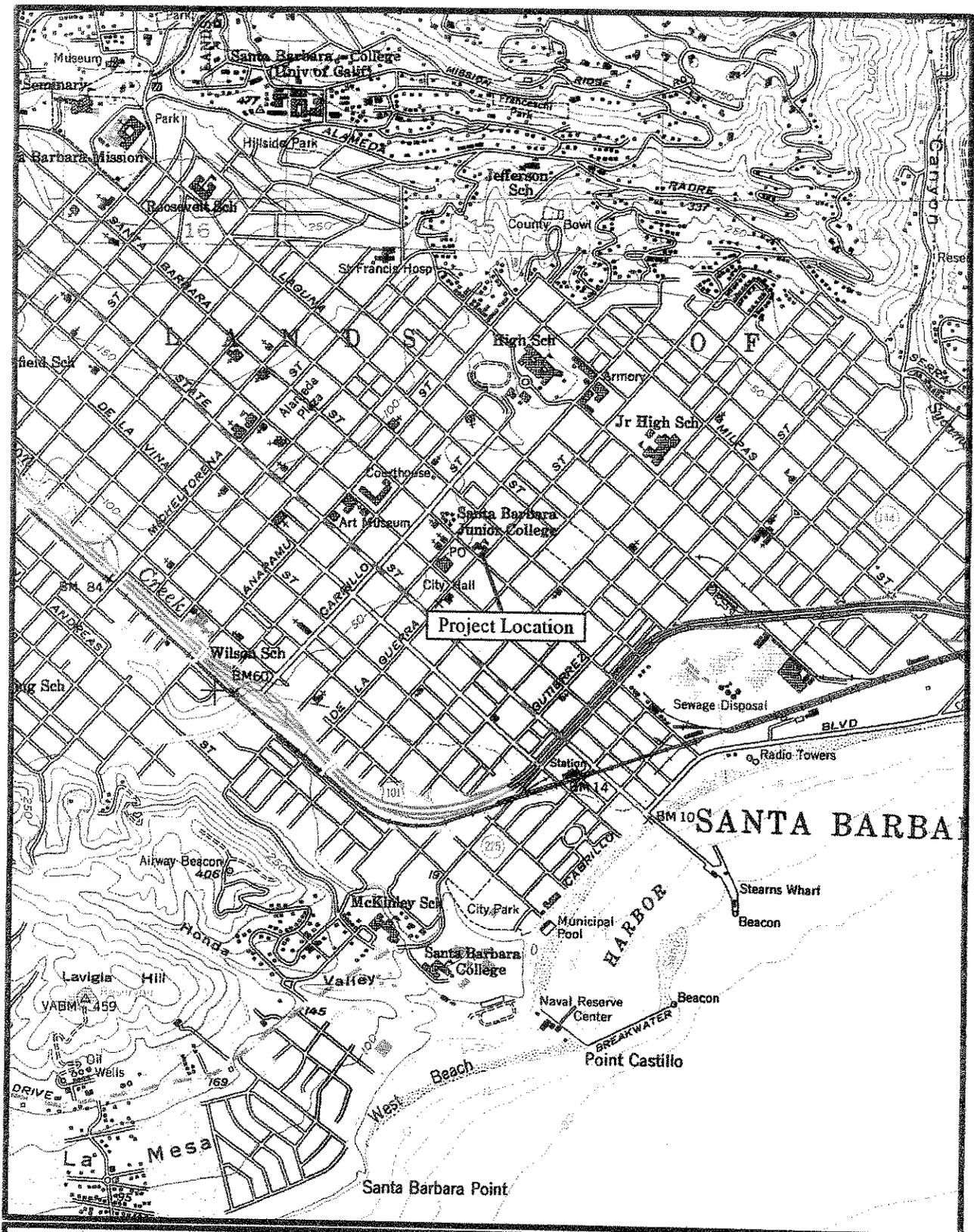


Figure 1: Project Vicinity Map
 800 Santa Barbara Street
 Santa Barbara, CA



USGS Santa Barbara Quad 1:24,000
 500 0 500 1000
 Meters

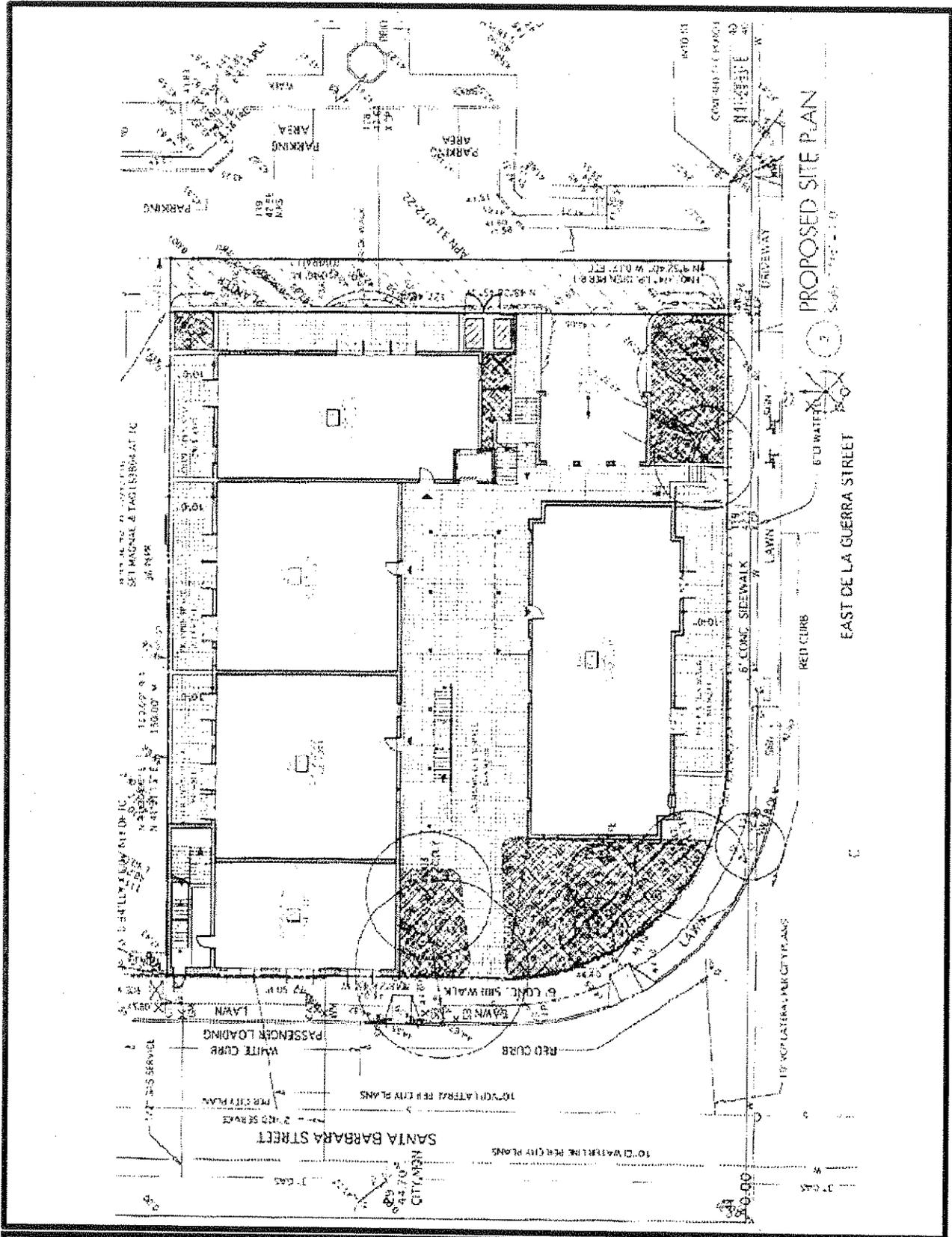


Figure 2: Project Site Plan & Survey Area
 800 Santa Barbara Street
 Santa Barbara, CA



25 Feet

3.0 Archaeological and Ethnographic Background

The project site is located within the Santa Barbara Channel cultural area. Evidence of cultural activity along the coastline extends over 9,000 years and indicates an increasing level of complexity and technological development through time. The prehistoric cultural development has been characterized in three stages: the Early Period (ca. 8,000 to 5,000 years ago) has traditionally been identified as a time of dependence on seed grinding, based on the presence of complexity and technological development through time. More recently, however, the importance of shellfish gathering in Early Period subsistence practices has been identified (Erlandson 1988, 1992). The Middle or Intermediate Period (ca. 5,500 to 900 years ago) was a time of diversification, with the introduction of acorn processing (mortar and pestle grinding implements appear) and hunting of large terrestrial game and sea mammals. The Late Period (ca. 900 to 200 years ago) marked the culmination of prehistoric cultural development with greater dependence on a variety of shellfish, smaller land game (introduction of the bow and arrow) and open sea fishing. Many consider the overall trend of cultural complexity in the Santa Barbara Channel as having resulted from increasing population pressure and/or environmental change that resulted in greater demands on the available resources, leading to a reliance on subsistence activities requiring greater energy (Glassow and Wilcoxon, 1988; Arnold, Colten, and Pletka 1997; Raab and Larson 1997).

The indigenous populations encountered by the Spanish in the late 1700s were the Barbareño Chumash. Populations associated with these peoples are considered to have been some of the highest in California. Brown (1967:79) estimates a population of 7,000 Barbareño Chumash living along the Santa Barbara Channel coastline. The Barbareño Chumash developed a highly sophisticated hunting and gathering subsistence, extensive trading, an exchange system based on shellfish beads, and a chiefdom level of social organization (Grant 1978).

4.0 Documents Review and Identification of Previously Recorded Resources

4.1 *Archaeological Records Search*

Records of the California Archaeological Inventory Central Coast Information Center, University of California, Santa Barbara, were accessed within 1/8-mile of the project site (see-attached letter). The records search provided a list of all previous archaeological investigations

that have been undertaken, and all recorded archaeological sites within this distance from the project site. The Information Center records indicate that no prior surveys have been undertaken within the proposed project site, but one archaeological site, CA-SBA-133 and one historic property are recorded. Within 1/8-mile of the project site, 37 previous archaeology studies and five archaeological sites have been recorded.

CA-SBA-133 is the location of the Spanish Presidio and chapel site. The site is approximately one block square, and extends over several city blocks within the area of Santa Barbara and Canon Perdido Streets, between Carrillo and De La Guerra and Garden and Anacapa Streets. The archaeological deposit in some locations is extensive, but is variable in its depth and its diversity of artifacts. Several excavations have taken place in the past several years within the site, identifying much of what we know about the Mission/Spanish occupation of Santa Barbara. An attachment to the CA-SBA-133 site record (see attached) provides a map prepared by noted historians Richard Whitehead and Russell Ruiz that shows the Presidio walls more than 50 feet west of the project site area. An additional map prepared by E.S. Spaulding and J.E. Loman (no date) attached to the CA-SBA-133 site record (see attached) also locates the eastern Presidio corner well over 75 feet from the project site boundary. Based on this more rigorous cartography prepared by professional historians, the Presidio walls appear to have been located well outside of the project area.

4.2 *Historic Archival Research*

All historic archival resources required to be consulted for the Spanish Colonial and Mexican Period 1782-1849, Hispanic to American Transition Period 1848-1870, American Period 1870-1900, and Early Twentieth Century 1900-1920 sensitivity zones as specified in the City MEA Guidelines for Archaeological Resources and Historic Structures and Sites (January 2002) Section 1.4 and Appendix A, pages A-8 through A-11, were reviewed to determine the nature of previous land uses on the project site. These are listed in Section 12.0, Resources Utilized in Report Preparation.

5.0 Field Survey Inventory

The proposed improvement area was inspected on October 22, 2006. All exposed ground surfaces on the property were intensively inspected in 2-meter (6-foot) parallel transects. The project site is located on a gentle south-facing slope. The proposed development areas will be built in graded areas previously leveled during construction of the existing office structure. Based on observation of the slope, the amount of excavation that occurred within the proposed addition area is between six inches to one foot deep. This indicates that the proposed improvement areas would be constructed within somewhat disturbed ground surfaces.

Ground surfaces within the perimeter of the building envelopes provided fair to excellent surface visibility (15 to 100 percent), with the exception of the area covered by the existing office building, lawn, parking lot, and walkways which afforded no visibility. The landscaped areas adjacent to the existing structure were sparsely planted with ornamental shrubs and trees, providing very good to excellent visibility (85 to 100 percent). The overall reliability of the survey in the areas of potential impact is considered good.

Sparse cultural remains were identified within areas of exposed landscaped soil on the north side of the existing building, adjacent to the property fence line. These cultural remains included two fragments of glazed earthenware pottery, and one fragment of a medium mammal rib bone. The pottery appeared to date from the early 20th century, while the mammal rib bone did not appear weathered or yellowed. This condition suggested a relatively recent origin rather than a historic or prehistoric date, possibly having been deposited by a domesticated animal.

6.0 Site History

The 1853 Wackenrueder Map indicates that one of the Presidio wings extended through the proposed improvement area (Figure 3a) (Preservation Planning Associates, 2006). However, the alignment of the Presidio room walls appear to be outside the project site, with the exception of the northeastern corner. As stated in section 4.1 above, recent mapping prepared by professional historians contradicts the Wackenrueder Map based on the Haley Survey responsible for the city grid superimposed on the 1853 map. The Teodoro Arrellanes adobe, built in 1795 (Preservation Planning Associates, 2006), was named after Don Teodoro Arrellanes, a prominent rancho owner who with his family moved in some years after its construction (Cullimore, 1948). Arrellanes, his children's family, and his grandchildren's family apparently occupied the adobe (Cullimore, 1948).

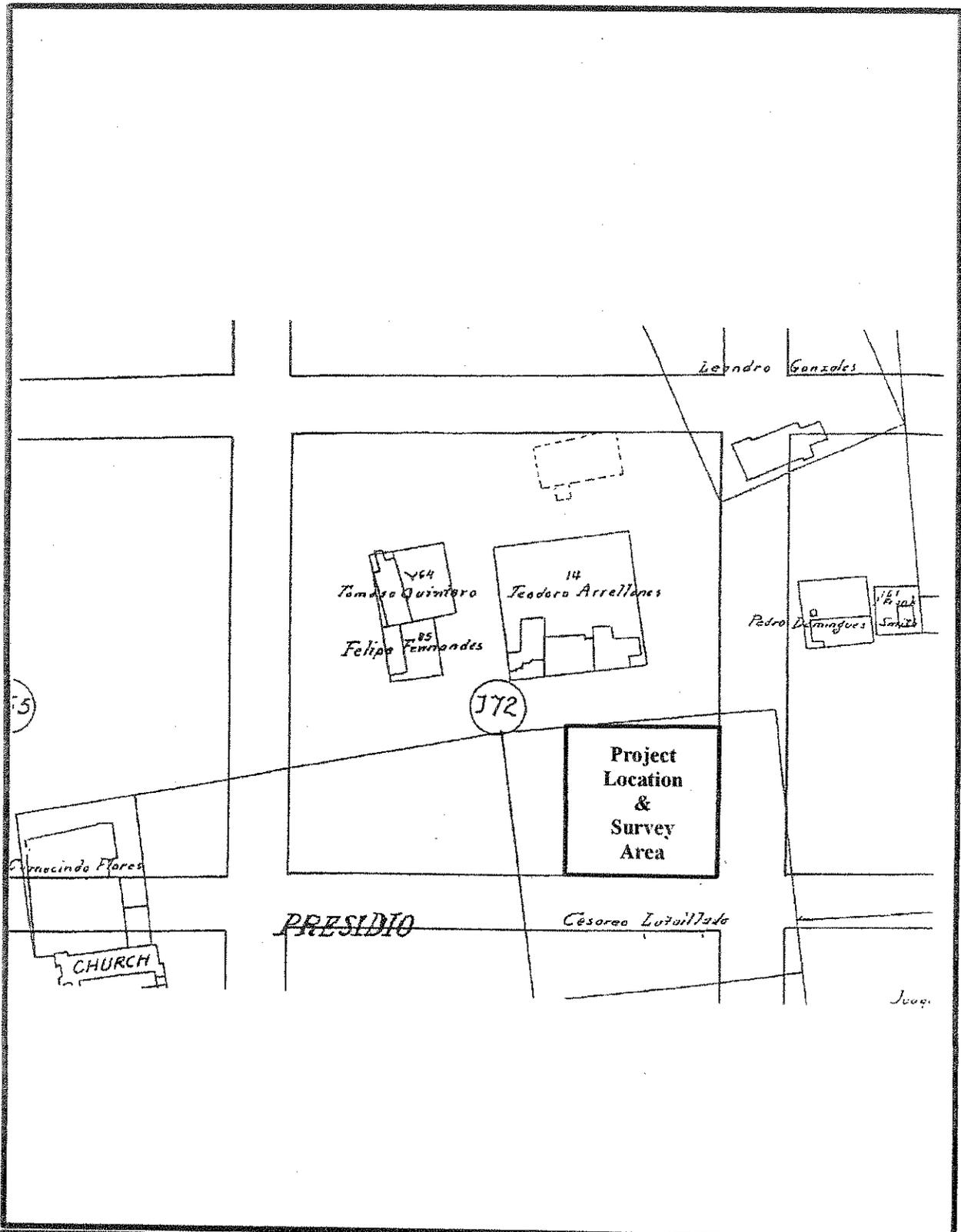


Figure 3a: Wackenreuder Map No. 2 1853
 800 Santa Barbara Street
 Santa Barbara, CA



No Scale

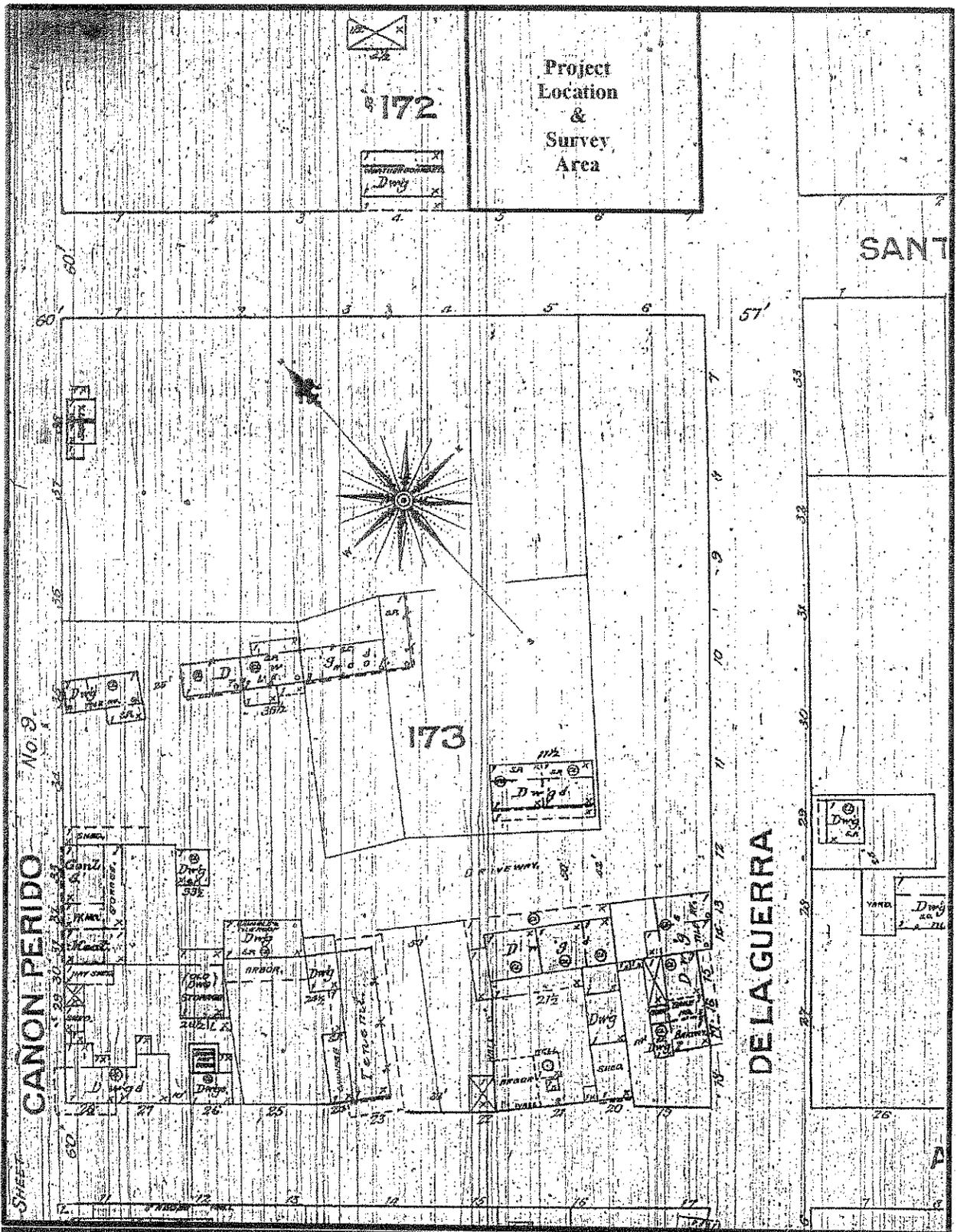


Figure 3b: Sanborn Fire Insurance Map 1886
 800 Santa Barbara Street
 Santa Barbara, CA



No Scale

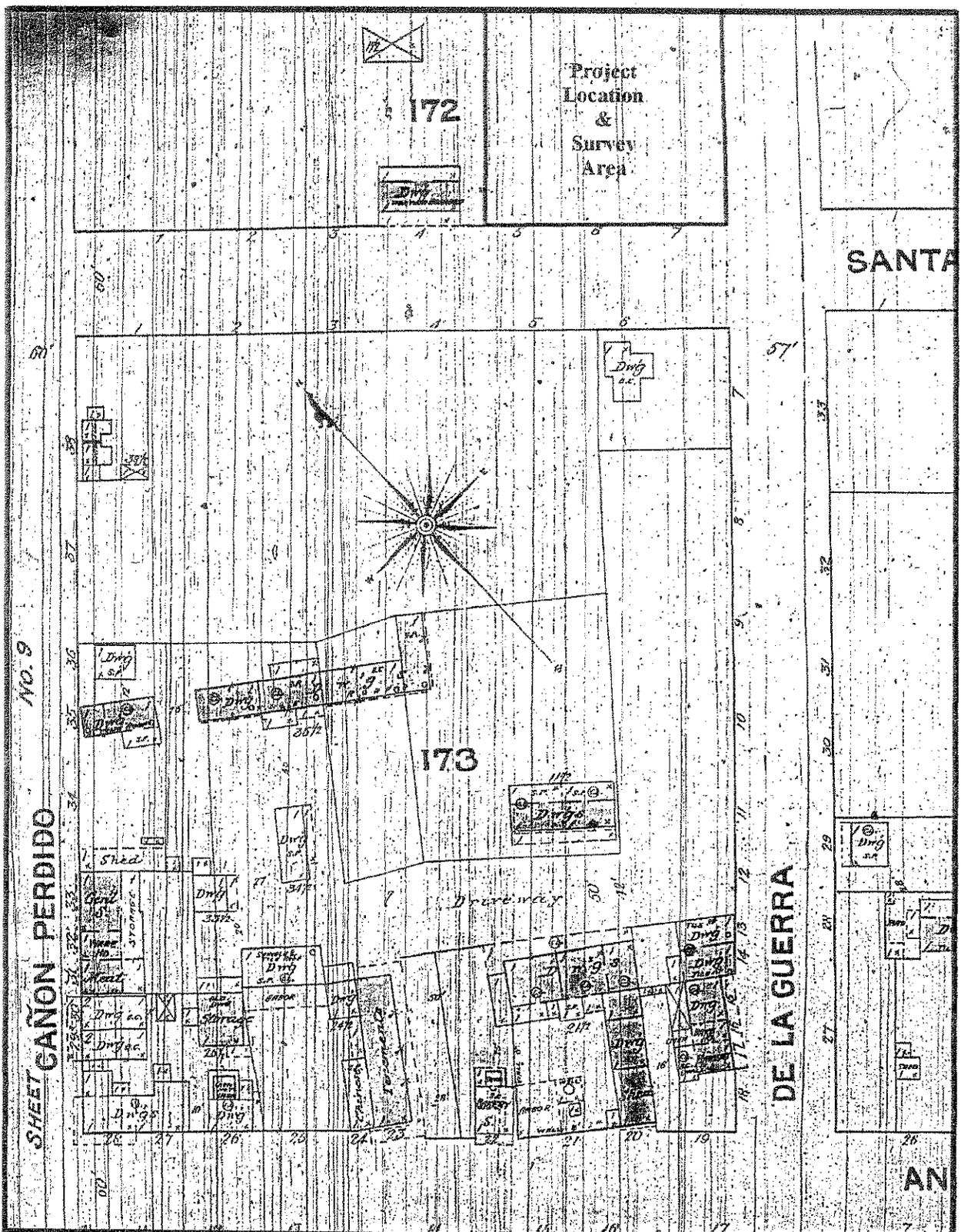


Figure 4: Sanborn Fire Insurance Map 1888
 800 Santa Barbara Street
 Santa Barbara, CA



No Scale

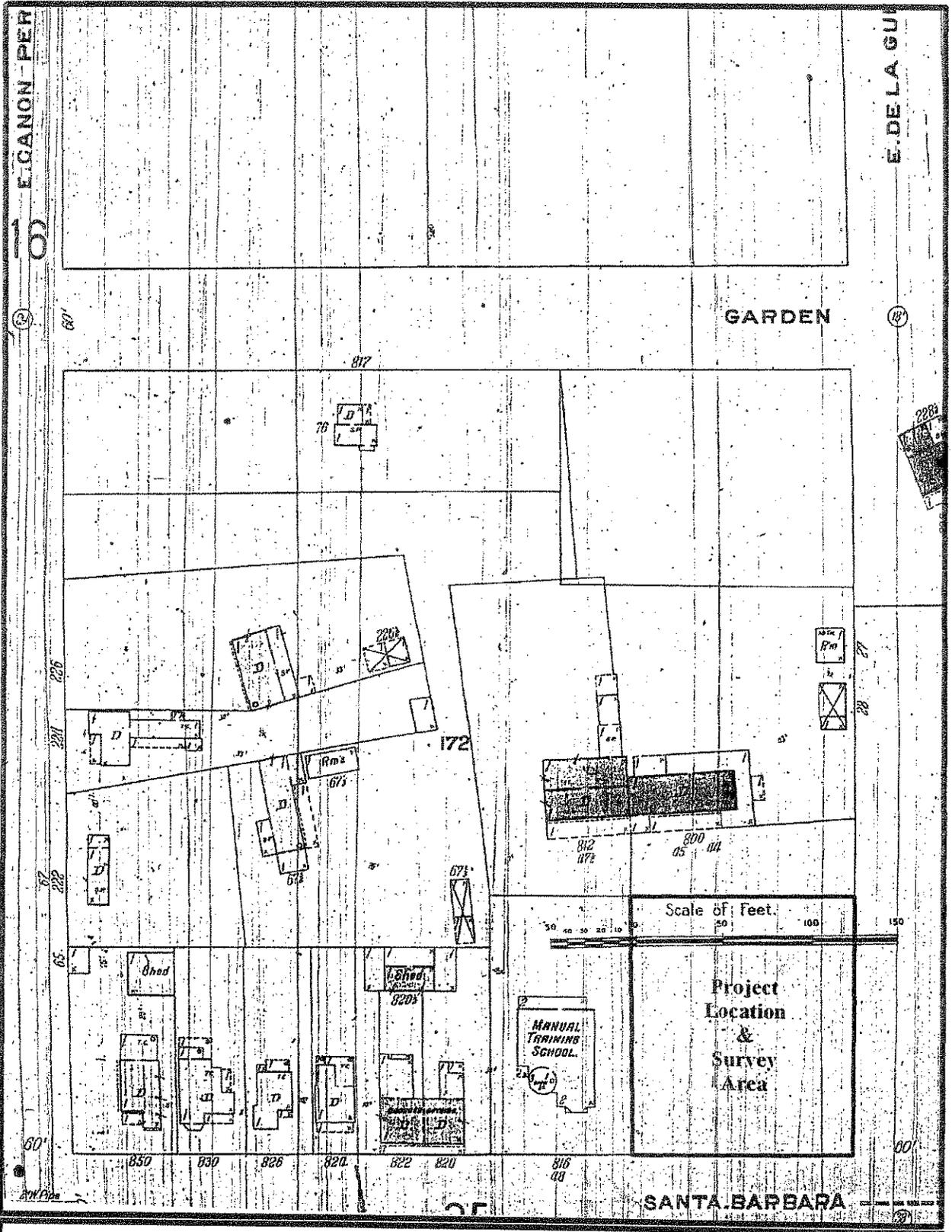


Figure 6: Sanborn Fire Insurance Map 1907
 800 Santa Barbara Street
 Santa Barbara, CA



The adobe was within the vicinity of the proposed improvement area, but to the northeast.

Subsequent maps from the mid-19th century (i.e., U.S. Coast Survey Maps from 1852, 1853, and 1870) identify the presence of the structure. The adobe remained in its location until 1925, when it was substantially damaged in the Santa Barbara earthquake, and subsequently razed (Belsher 1978; Cole 2006).

The project site is partially mapped on the Sanborn Fire Insurance Maps from the years 1886 and 1888 (Figures 3b and 4). The Sanborn Fire Insurance Maps from the years 1892 and 1907 (Figures 5 and 6) indicate that city block #172 had been further developed by this time, however the proposed project site improvement area was still undeveloped.

Telephone directory information for the property at 800 State Street suggests that the project site was developed by 1916. Based on the dates indicated, it appears that this address related to the former Arrellanes Adobe, owned by Associated Charities (Cole 2006):

- 1916-1917: Associated Charities
- 1917-1919: Public Market & Associated Charities
- 1920-1931: Associated Charities of Santa Barbara

Building permits for 800 Santa Barbara Street on file with the City Community Development Department available for review are as follows:

- 1925 Building Application. Owner: Associated Charities. Erect a 656-s.f. garage.
- 1925 Building Application. Owner: Associated Charities. Erect a 768-s.f. shed.
- 1927 Building Application. Owner: Associated Charities. Construction of a 19,046-s.f. office building.
- 1927 Building Application. Owner: Associated Charities. Erect a 1,100-s.f. garage and shop.
- 1927 Building Application. Owner: Associated Charities. Erect a work shed.

A construction date of 1927 for the existing structure at 800 Santa Barbara Street is also suggested by the Historic Resources Inventory Form (Belsher 1978). By 1930, the present configuration of the existing office building was depicted on the Sanborn Map (labeled as 802 Santa Barbara Street) (Figure 7).

Other building permits after this time indicate a variety of land use changes:

- 1948 Building Application. Neighborhood House. Construction of a 2,250-s.f. office building.
- 1962 Building Application. Associated Charities. Demolition of a shed.

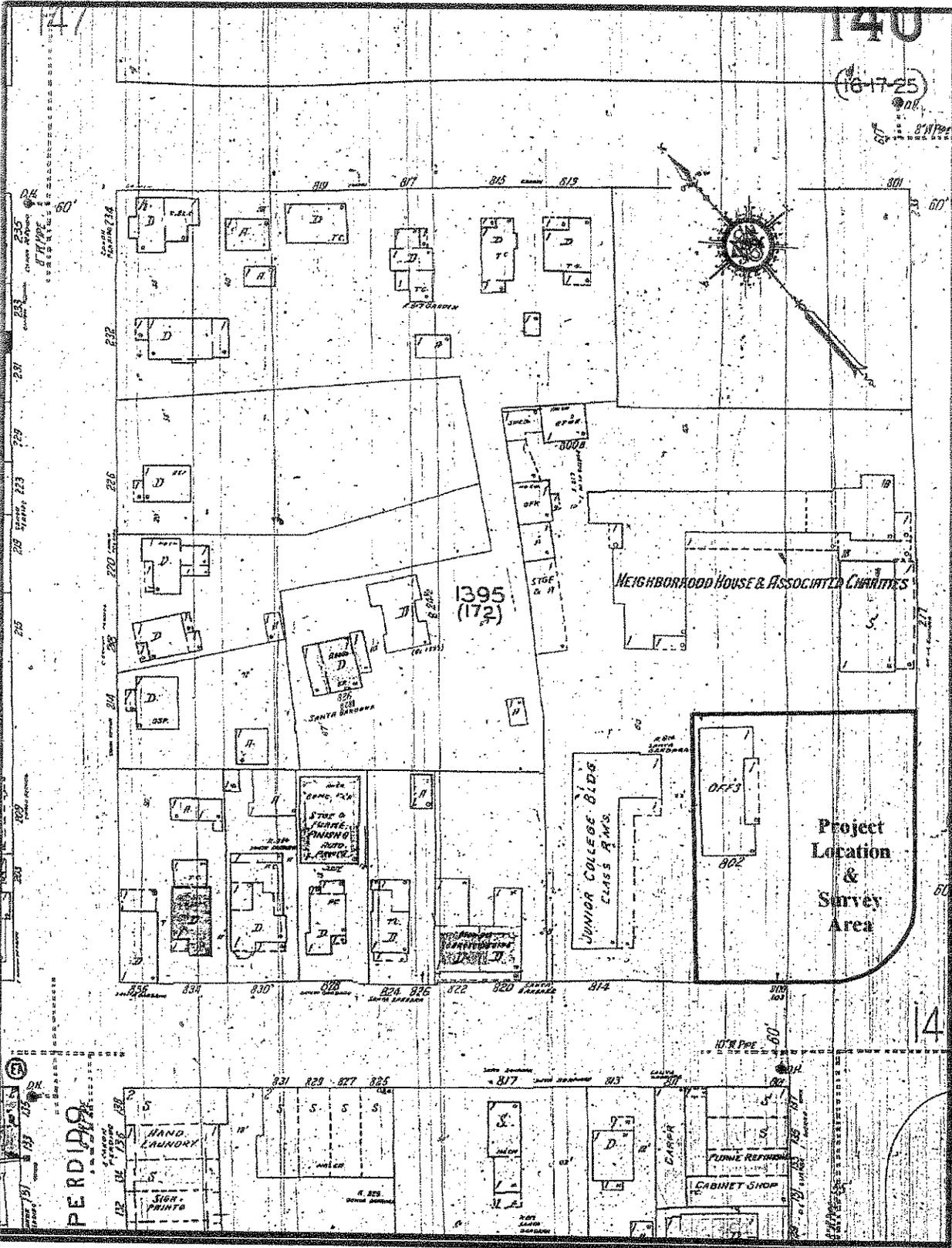


Figure 7: Sanborn Fire Insurance Map 1930
 800 Santa Barbara Street
 Santa Barbara, CA



No Scale

- 1964 Building Application. Family Service Agency. Demolition of a 600-s.f. garage.
- 1964 Letter to the Family Service Agency. Discussion of the demolition of an old building and construction of a new proposed 800-s.f. building.
- 1965 Building Application. Family Service Agency. Erect a new 800-s.f. two car garage/storage building.
- 1998 Building Permit. Kurt W. Cox Communications. Installation of a utility cabinet for Cox Cable.
- 2004 Same as above.

This review of historic background information indicates that the project site was originally within the footprint of the Spanish Presidio, but after the decline of this military presence, the proposed improvement areas remained vacant until 1927 when the existing structure was built southwest of the original adobe. A series of structures including the Family Service Agency structure have been constructed within the footprint of the Arrellanes Adobe, and been the original adobe location and the proposed improvement areas. Between 1948 and 1965, several structures have been built and subsequently demolished, most probably resulting in ground disturbance when heavy equipment removed foundations and debris.

7.0 Assessment of Potential for Unrecorded Archaeological Resources

Based on the overall good ground surface visibility and absence of any prehistoric cultural remains identified during the field survey, the potential for buried prehistoric archaeological resources within the project site is considered relatively low. The potential for encountering historical structural remains, particularly associated with the Spanish Presidio, is also low as the structure's walls are mapped outside of the project area (see CA-SBA-133 site record and attachments). It is possible, however, that trash pits associated with the Presidio occupation could be located within the project site. Excavations at the Santa Barbara Historical Museum property, approximately 300 feet northeast of the project site, identified a substantial trash pit of butchered animal bone that is considered to date to the Spanish Colonial Period, recorded as historic archaeological site CA-SBA-3505/H (Price, *et al.*, 1999). Other examples of these historic resources may be present within the proposed project site, given its proximity to the Presidio.

Historic background research suggests that the existing structure at 800 Santa Barbara Street was not developed until 1927. Therefore, the potential to encounter historical foundations

of structures below the existing building dating to the late 19th century or early 20th century is remote. As a result, the potential for buried, intact historic archaeological resources dating from the late 19th or early 20th century within the project site is considered relatively low.

Grading associated with preparation of the land surface for the existing structure and landscaping at 800 Santa Barbara Street in 1927, and for other ancillary buildings associated with a series of structures constructed and then demolished during the first half of the 20th century, could have had an adverse effect on any unknown, sub-surface cultural resources within the project area.

8.0 Assessment of Archaeological Resources

Based on the background research completed, the potential for substantial subsurface prehistoric archaeological resources to exist within the project site is low. Though it would be possible to encounter a smaller temporary camp or limited activity area, the potential for the resource to be potentially significant would be highly unlikely, considering that the ground surface visibility adjacent to areas covered by the existing building was good and revealed no potentially significant cultural remains or substantial soil changes. In the unlikely event that intact prehistoric remains were encountered, they would be potentially capable of meeting the criteria for listing on the California Register of Historical Resources (Pub. Res. Code §§5024.1, Title 14 CCR, Section 4852; California Environmental Quality Act Guidelines 15064.5[3]), including the following:

(D) Has yielded, or may be likely to yield, information important in prehistory.

The Presidio walls as mapped by professional historians appear to be completely outside of the proposed improvement areas (see CA-SBA-133 site record and attachments). Therefore, the potential to encounter foundation walls within the project site is considered low.

The only surface cultural remains that were identified during the intensive survey were isolated ceramic fragments of undetermined age, and a piece of mammal bone of unknown origin. There is, however, a potential for unknown, subsurface historical features including trash pits associated with occupation of the Spanish Colonial Presidio to be located within the project site area. The potential for these isolated trash pits to be intact is lessened due to the intensive series of construction and demolition of structures in the vicinity of the proposed improvement areas between 1948 and 1965. However, if intact historic trash remains were to exist below the existing building footprint dating from the Presidio, they would have the potential to help interpret

the early lifestyles and the understanding the lifeways of people during the Spanish-Colonial era in Santa Barbara. These resources would potentially provide unique information capable of meeting the criteria for listing on the California Register of Historical Resources (Pub. Res. Code §§5024.1, Title 14 CCR, Section 4852; California Environmental Quality Act Guidelines 15064.5[3]), including the following:

- (B) Is associated with the lives of persons important in our past; or
- (D) Has yielded, or may be likely to yield, information important in history.

Therefore, there is the potential for significant historic archaeological resources dating to the Spanish Colonial era to be encountered during grading.

9.0 Evaluation of Potential Project Effects

As stated in CEQA Guidelines Section 15064.5(b), a project causing a substantial adverse change in the significance of an historical resource is that which could result in the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings, such that the significance of an historical resource would be materially impaired (i.e., altering those physical characteristics that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources as determined by a lead agency [the City of Santa Barbara] for purposes of CEQA; or its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code).

The potential for the proposed project to encounter unknown but potentially significant subsurface prehistoric remains (intact and not subject to previous ground disturbance) is considered highly unlikely. Therefore, project impacts on prehistoric resources are considered to be less than significant. Modern historic documentation indicates that the Presidio walls were well outside of the project site area. In spite of modern ground disturbances, the potential remains for intact isolated historic trash pits dating to the Spanish-Colonial era to be present within the project site. These resources would be considered potential historic resources under state and local criteria, such that impacts on historical resources would be potentially significant, as defined in the CEQA Guidelines Section 15064.5(b).

10.0 Required Action/Mitigation Measures

The following measures would reduce the potential for significant impacts on unknown,

intact historic archaeological features such as trash pits associated with the Santa Barbara Presidio.

1. After removal of all structures and pavement, construction shall be temporarily suspended and a City-qualified historic archaeologist shall be retained to inspect the ground of the entire improvement area to ensure the absence of any historic archaeological foundations or artifacts such as roof or floor tiles, etc. Any cultural materials associated with the Presidio era shall be recorded.
2. A city-qualified historic archaeologist shall be present to monitor grading until a depth is reached below any potential to disturb potential remains as determined by the archaeologist (i.e., approximately 3 feet), pursuant to the City MEA Guidelines for Archaeological Resources and Historic Structures and Sites criteria. In the unlikely event that intact features such as trash pits are identified, they shall be isolated under the direction of the archaeologist, while project excavations are redirected elsewhere. A Phase 2 significance assessment program funded by the applicant shall be undertaken by a city-qualified historic archaeologist to evaluate the potential of the resources pursuant to City MEA Guidelines for Archaeological Resources and Historic Structures and Sites (2002) criteria. If these remains are found to be significant, it may be necessary to undertake a Phase 3 Data Recovery program funded by the applicant by a city-qualified historic archaeologist to recover and analyze an additional sample of cultural materials considered significant. The Phase 2 and Phase 3 excavations shall be documented in reports prepared pursuant to City MEA Guidelines for Archaeological Resources and Historic Structures and Sites (2002) criteria.
3. In the highly unlikely event that prehistoric cultural remains are identified on the ground surface during the inspection, a city-qualified Native American representative shall be retained to monitor all subsequent construction excavations along with the archaeologist until a depth is reached below any potential to disturb the remains, pursuant to the City MEA Guidelines for Archaeological Resources and Historic Structures and Sites (2002) criteria. The archaeologist shall determine the need for any other actions, including collecting a representative

sample of prehistoric remains, consistent with a Phase 3 Data Recovery excavation as defined in City MEA Guidelines for Archaeological Resources and Historic Structures and Sites (2002) criteria.

11.0 Residual Impacts

Incorporation of the Measures Nos. 1 and 2 will ensure that the potential to encounter unknown, intact, potentially significant, historical archaeological cultural resources will be addressed consistent with the City MEA Guidelines for Archaeological Resources and Historic Structures and Sites (2002) criteria, including appropriate levels of Phase 2 significance testing, and if required, Phase 3 Data Recovery investigations.. Therefore, the proposed project would have less than significant residual impacts on the potential to encounter unknown, intact, potentially significant, historic archaeological resources.

Incorporation of Measure No. 3 will ensure that a highly unlikely potential to encounter unknown prehistoric cultural resources will be addressed consistent with the MEA Guidelines for Archaeological Resources and Historic Structures and Sites (2002) criteria. Therefore, the proposed project would have a less than significant residual impact on the highly unlikely potential to encounter unknown, intact prehistoric resources.

12.0 Resources Utilized in Report Preparation

Section 3.0 Archaeological and Ethnographic Background

Arnold, Jeanne E. Roger H. Colten and Scott Pletka. 1997. Contexts of Cultural Change in Insular California. *American Antiquity* 62 (2): 300-318.

Brown, Alan K. 1967. The Aboriginal Population of the Santa Barbara Channel. Reports of the University of California Archaeological Survey 69. Berkeley.

Erlandson, Jon M. 1988. The Role of Shellfish in Prehistoric Economies: A Protein Perspective. *American Antiquity* 53:1:102-109.

_____. 1994. *Early Hunters of the California Coast*. Plenum Press. New York.

Glassow, Michael and Larry Wilcoxon. 1988. Coastal Adaptations Near Point Conception, California, with Particular Regard to Shellfish Exploitation. *American Antiquity* 53:1:36-51.

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Raab, L. Mark and Daniel O. Larson. 1997. Medieval Climatic Anomaly and Punctuated Cultural Evolution in Coastal Southern California. *American Antiquity* 62 (2): 319-336.

United States Department of Agriculture. 1981. *Soil Survey of Santa Barbara County, California, South Coastal Part*. Soil Conservation Service and Forest Service.

Price, Barry, Carole Denardo, and Joyce Gerber. 1999. Phase 1 Cultural Resources Inventory and Phase 2/3 Mitigation Plan. Santa Barbara 1 Manufactured Gas Plant Site Remediation Project, Santa Barbara, CA.

Section 4.2 Historic Archival Research, City MEA Guidelines for Archaeological Resources, Appendix A, Pages A-8 through A-11

1. U.S. Coast Survey Maps for 1852, 1853, and 1870.
2. Wackenreuder Maps Nos. 1 and 2.
3. Bird's Eye View of Santa Barbara, California. Drawn and published by E. S. Clover. Oblique drawing, Santa Barbara Historical Society, Gledhill Library. 1877.
4. Sketch of the City of Santa Barbara, California. Showing Part of the Survey of 1870 and Changes and Improvements to January 1878. U.S. Coastal Survey. M. Section X. 43a. University of California Santa Barbara Library, Map and Imagery Laboratory. 1878.

5. Santa Barbara. Reproduced from an original 1888 lithograph as a supplement to the 1971 Fiesta Edition of the Santa Barbara News-Press. Oblique drawing, Santa Barbara Historical Society, Gledhill Library. 1888.
6. Presidio Map from the Vischer Papers;
7. Sanborn Fire Insurance Maps for 1886, 1888, 1906, 1930, and 1931;
8. Santa Barbara City telephone directories circa late 19th century through 1925.
9. Santa Barbara Public Library, Central Branch. The Smith Collection of Historic Photographs.
10. Community Development Department Building Permit Street file and Historical Resources Survey forms.

Belsher, Elizabeth S. 1978. Historic Resources Inventory Form, 800 Santa Barbara Street. Central Coast Archaeological Inventory, University of California, Santa Barbara.

Cole, Alexandra. 2006. Historic Structures Report, 800 Santa Barbara Street, Santa Barbara, CA. Prepared for Thomas G. Foley.

Cullimore, Clarence. 1948. *Santa Barbara Adobes*.

Holmes, Marie S. and John R. Johnson. 1998. *The Chumash and Their Predecessors: An Annotated Bibliography*. Santa Barbara; Santa Barbara Museum of Natural History.

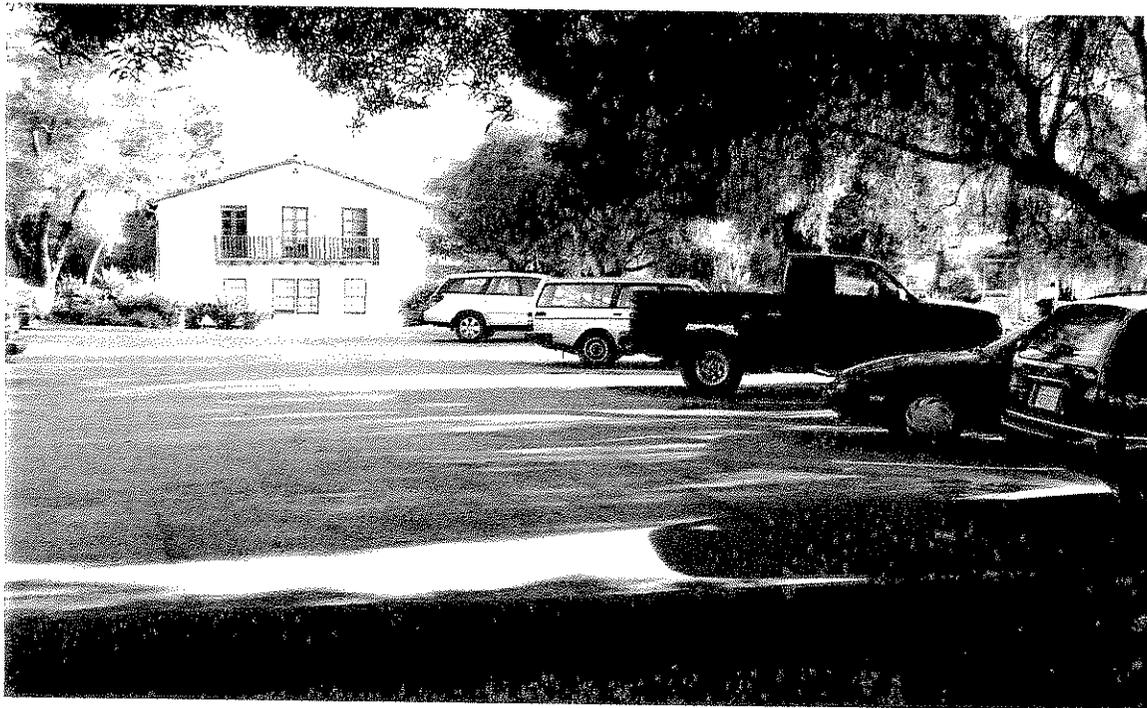
Imwalle, Michael. 2006. Personal Communication. Santa Barbara Presidio Archaeologist.

Spaulding, E.S. and J.E. Loman. No Date. *The Royal Presidio of Santa Barbara*. Prepared for the Community Arts Association Plans and Planting Committee.

Williams, James. C. 1977. *Old Town, Santa Barbara. A Narrative History of State Street from Gutierrez to Ortega, 1850-1975*. Public History Monograph #1. Public History Program, Department of History, University of California, Santa Barbara.



800 Santa Barbara Street - Looking Northwest from De La Guerra Street



800 Santa Barbara Street - Looking North from Santa Barbara Street

CENTRAL COAST INFORMATION CENTER

California
Archaeological
Inventory



SAN LUIS OBISPO AND
SANTA BARBARA COUNTIES

Department of Anthropology
University of California, Santa Barbara
Santa Barbara, CA 93106-3210
(805) 893-2474
FAX (805) 893-8707

10/18/2006

Laurie Pfeiffer
David Stone Archaeological Consultants
P.O. Box 8022
Goleta, CA 93118-8022.

Dear Ms. Pfeiffer,

Recently I was asked by another of David Stone's associates, Izaak Sawyer, to always address letters to David Stone. I understood the request to have originally come from David so I took the chance that it would apply in this case as well. If I am mistaken and the letters should be addressed to you please contact me and I will re-generate them with your name.

Please contact me if you have any questions about this search.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Neal'.

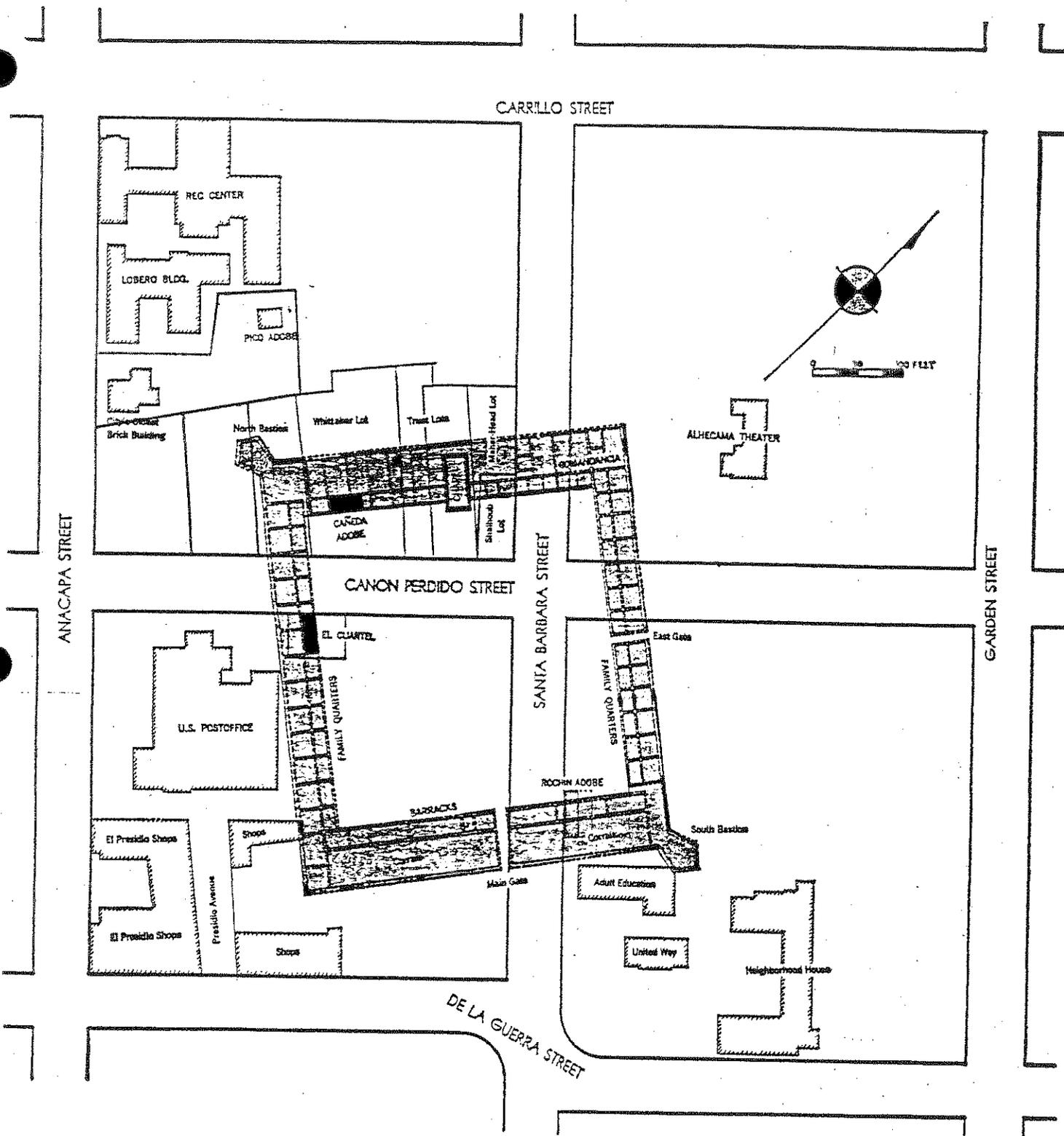
Mark Neal
Assistant Coordinator

MAPPED

University of California, Department of Anthropology

ARCHAEOLOGICAL SITE SURVEY RECORD

- 1. Site SBA 133 2. Map SBA 7.5' 3. County SBA
- 4. Twp. _____ Range _____ 1/4 of _____ 1/4 of Sec. _____
- 5. Location Block NE of intersection of Anacapa & Canon Perdido Sts. in
Santa Barbara. UTM 252160 E / 3812150 N
- 6. On contour elevation _____
- 7. Previous designations for site El Presidio
- 8. Owner _____ 9. Address _____
- 10. Previous owners, dates _____
- 11. Present tenant _____
- 12. Attitude toward excavation _____
- 13. Description of site Spanish presidio and chapel site, with some adobes
restored.
- 14. Area ca. 1 block 15. Depth _____ 16. Height _____
- 17. Vegetation _____ 18. Nearest water _____
- 19. Soil of site _____ 20. Surrounding soil type _____
- 21. Previous excavation UCSB, Santa Barbara Historical Society
- 22. Cultivation _____ 23. Erosion _____
- 24. Buildings, roads, etc. Highly built-up area
- 25. Possibility of destruction _____
- 26. House pits _____
- 27. Other features Foundations, grave cysts
- 28. Burials Several excavated in 1967 by SBHS & UCSB
- 29. Artifacts Brass buttons, rosary beads, spikes, coffin fragments, glass,
china (sherds), cloth or leather frags.
- 30. Remarks See UCSB Limited Excavation Binder.
- 31. Published references Noticias--SBHM Periodical, 1968 Hillebrand 1967, Walker 1969
Costello 1977, Wilcox & King 1982
- 32. UCMA Accession No. 149, 1166 33. Sketch map _____
- 34. Date _____ 35. Recorded by _____ 36. Photos _____



PRESIDIO LOCATION, superimposed on modern four-block area map, shows Goycoechea's building plan of 1788. Solid black indicates existing buildings; heavy black lines indicate foundations excavated to date; dotted lines indicate 1790 perimeter. This chart, researched for the News-Press by Richard S. Whitehead and Russell A. Ruiz, is the first ever published that shows the Presidio's correct location. All previously published maps were based on the 1850 Haley Survey or the O'Neil 1925 map and were found to be as far as 50 feet out of true. The cartography is by Whitehead.

LABORATORY INFORMATION SHEET

Site Number SBa.133 Accession Number 149 Name El Presidio de la Santa Barbara

Excavator Deetz, James J.F. UCSB Date Spring 1962

- 1. Amateur excavator (F).....
- 2. Artifact loan (F).....
- 3. Chemical analysis (F).....
- 4. Correspondence (F).....
- 5. Fauna (F).....
- 6. Flora (F).....
- 7. Geology (F).....
- 8. History (F).....
- 9. Illustration (F).....
- 10. Manuscript (F).....
- 11. Maps (F)..... see history file, & Item 26 below
- 12. Missing material (F).....
- 13. Museum accession cards.....
- 14. Museum accession records (B).....
- 15. Museum artifact (B).....
- 16. Negative catalogue (B).....
- 17. Negative and print (F).....
 - 35mm.....
 - 4X5.....
 - Polaroid.....
 - 8X10 (B).....
- 18. Publicity (F).....
- 19. Published material (F).....
- 20. Radio carbon (F).....
- 21. Site (B).....
- 22. SBa. limited excavation (B).....
- 23. State contracted archaeology (F).....
- 24. State highway survey (F).....
- 25. Summer field school (F).....
- 26. Field note (F).....
- 27.
- 28.
- 29.
- 30.
- 31.
- 32.
- 33.
- 34.
- 35.

Remarks:

an exploratory trench to locate old presidio foundation. nothing was saved in the way of artifactual material.

F= filing cabinet B= three hole binder SBa.= Santa Barbara

ARCHAEOLOGICAL SITE SURVEY RECORD

1. Site SBA 133 2. Map SANTA BARBARA 7.5' 3. County S.B.
4. Twp. _____ Range _____; _____ 1/4 of _____ 1/4 of Sec. _____
5. Location BLOCK NE OF INTERSECTION OF ANACAPA & CANON PERDIDO STS. IN SANTA BARBARA
6. On contour elevation _____
7. Previous designations for site EL PRESIDIO
8. Owner _____ 9. Address _____
10. Previous owners, dates _____
11. Present tenant _____
12. Attitude toward excavation _____
13. Description of site SPANISH PRESIDIO & CHAPEL ^{SITE} W/
SOME RESTORED ADOPES
14. Area Ca 1 BLOCK 15. Depth _____ 16. Height _____
17. Vegetation _____ 18. Nearest water _____
19. Soil of site _____ 20. Surrounding soil type _____
21. Previous excavation UCSB, SANTA BARBARA HISTORICAL SOCIETY, 1967
22. Cultivation _____ 23. Erosion _____
24. Buildings, roads, etc. _____
25. Possibility of destruction _____
26. House pits _____
27. Other features FOUNDATION, GRAVE CYSTS
28. Burials SEVERAL EXCAVATED IN 1967 BY SBHS
& UCSB -
29. Artifacts BRASS BUTTONS, ROSARY BEADS, SPIKES,
COFFIN FRAGS, GLASS & CHINA SHEDS, CLOTH
OR LEATHER FRAGS -
30. Remarks _____
31. Published references NOTICIAS - SBHM PERIODICAL, 1968
32. Accession No. _____ 33. Sketch map _____
34. Date _____ 35. Recorded by _____ 36. Photos _____

The Royal Presidio OF SANTA BARBARA

Santa Barbara was founded on April 21, 1782, not as a pueblo, but as El Presidio Real de Santa Barbara, the last of four outposts set up in the then wilderness of Alta California by order of Don Carlos III, King of Spain. Others had already been established at San Diego, Monterey and San Francisco when the occupation of this part of the Pacific Coast was threatened by England and by Russia.

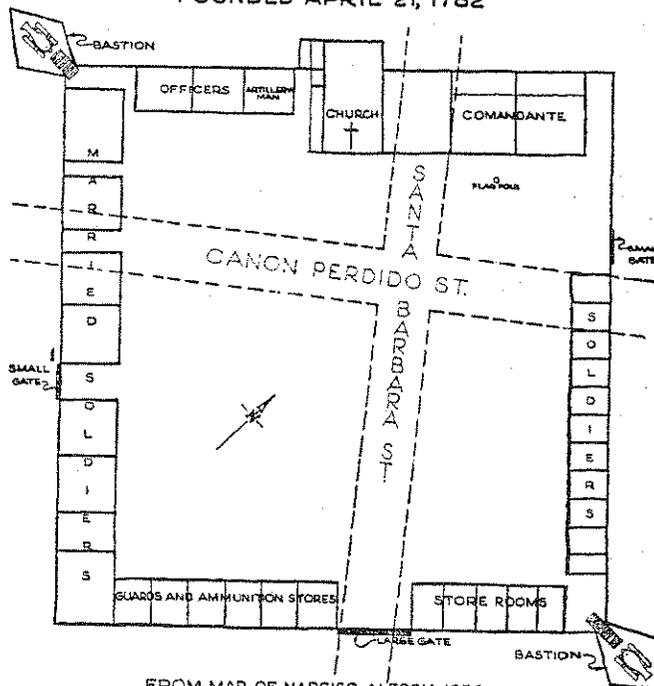
Here, on a sunny Sunday morning, that April of 1782, near where now Canon Perdido and Santa Barbara Streets meet, natives, dark-skinned Chumash Indians, watched as leather jacketed soldiers formed a square about a roughly hewn wooden Cross. Beside a brush-thatched enramada and a crude altar waited Padre Junipero Serra, Father President of the California Franciscan Missions. Riding into the scene came El Gobernador of California, Don Felipe de Neve.

ANCIENT RITES

This was an important occasion, for the founding of Santa Barbara on the Channel had waited long for Church and State to unite in completing this last link of Spanish outposts in Alta California. In reverent silence the soldiers watched Father Serra conduct his first Mass, bless the site and the Cross, as the Emblem of Christianity was firmly planted in the earth.

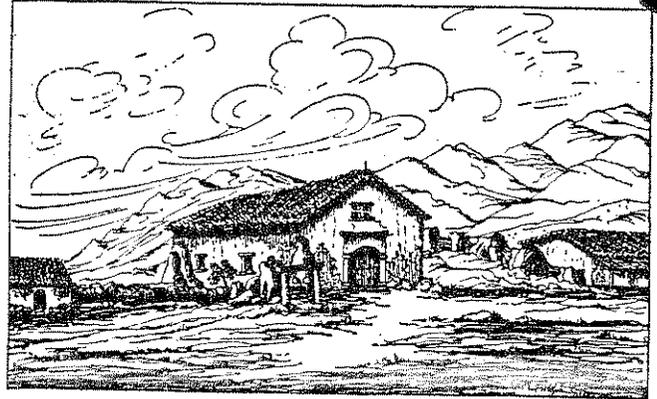
Then El Gobernador, hand upon his sword, took possession of all this land in the name of the King of Spain, swearing to defend its possession against all comers. Ceremoniously El Gobernador cast handfuls of earth to the four points of the compass, had stones moved from place to place, broke branches from oak trees and poured water upon the ground—signifying that all components of this site belonged to His Majesty, Don Carlos III. The Royal Standard of Spain was raised, and the Commandante, Lieutenant Jose Francisco Ortega, took

EL PRESIDIO REAL DE SANTA BARBARA FOUNDED APRIL 21, 1782



FROM MAP OF NARCISO ALEGRIA 1856

Map: E. S. Spaulding and J. E. Loman



El Presidio Church from an 1853 watercolor by J. N. Alden.
(Reproduced by permission of Mission Santa Barbara and W. M. Finley).

charge of El Presidio Real de Santa Barbara, established to protect the missionary settlements of San Fernando, San Buenaventura, Santa Barbara, and La Purisima. Later Santa Ines was included in the district.

Through the years many changes came to El Presidio de Santa Barbara, where first dwelt the families of Spanish soldiers in mud-daubed houses of poles with thatched roofs. By 1800 all temporary structures had been replaced by neat, white washed adobe buildings with red-tiled roofs and surrounded by a high wall with two corner bastions. Travelers dubbed Santa Barbara's Presidio the most orderly place in all California.

But in the two decades which followed, Spain's power in the New World was contested. Busy with wars at home the Mother Country no longer sent supply ships to her outposts in California. Unpaid Spanish soldiers, without tools and materials, could do little toward the upkeep of the Presidio. Mexican rule brought only continued neglect in the years following 1822, and in July 1846 when United States forces raised the Stars and Stripes over Santa Barbara's Presidio much of it was deserted and in ruins. The Presidio Chapel continued services until about 1855. The new parish church, Our Lady of Sorrows, at East Figueroa and State, was built in 1857. Only a few soldiers' families occupied the houses granted them in lieu of their pay. Chinese laundrymen and merchants took over the old houses and, as the great outer wall crumbled back to the adobe from which it had come, modern buildings encroached upon its domain and wide streets bisected the Plaza de Armas. The military use, for nearly seventy years, of Santa Barbara's old Presidio was only a memory.

In 1922, a renaissance of interest in Santa Barbara's Spanish background began. Some adobe houses that were in good condition were saved, but the earthquake of 1925 destroyed many whose roofs and walls had been neglected. Part of the soldiers' quarters were preserved in "El Cuartel" by the Mission Council, Boy Scouts of America, in 1940; and the Caneda Adobe was later incorporated by Mr. and Mrs. Elmer Whittaker in "Casa del Presidio."

Francis Price, Sr., in *Noticias*, quarterly of the Santa Barbara Historical Society, has said, "Let us, from our city's 175th birthday onward, resolve that we will preserve our enviable heritage of colorful tradition—an unique inheritance which sets Santa Barbara apart from ordinary communities. We shall grow bigger as surely as we grow older. But let us grow old gracefully, and without losing our traditions."

Compiled and distributed by
Community Arts Association
Plans and Planting Committee
912 Santa Barbara Street
Santa Barbara, California

HISTORIC RESOURCES INVENTORY

State use only

UTM _____ Q _____ NR _____ SHL _____
 Lat _____ Lon _____ Era _____ Sig _____
 Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____

IDENTIFICATION

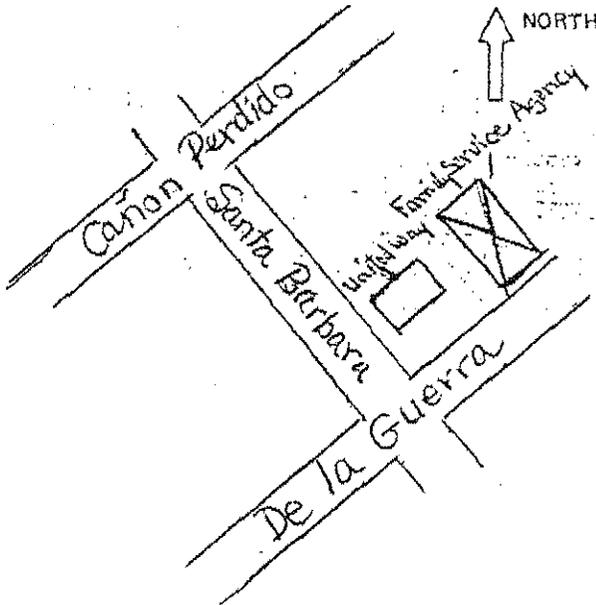
1. Common name: Family Service Agency
2. Historic name, if known: Neighborhood House
3. Street or rural address: 800 Santa Barbara Street
 City: Santa Barbara ZIP: 93101 County: Santa Barbara
 Santa Barbara County
4. Present owner, if known: Associated Charities of A Address: 800 Santa Barbara Street
 City: Santa Barbara, Ca ZIP: 93101 Ownership is: Public Private
5. Present Use: instruction and charitable Original Use: same
 Other past uses: hospital, craftsplace ^{causes} under the auspices of the Associated Charities

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This building is a one-story adobe-style stucco structure with two wings at either end. A long brick porch runs the length of the building. There are many fluted wooden pillars along the porch. Other features include double sash windows and a gabled mission tile roof. The site is well landscaped on a large lot with the United Way Building situated at the front north side of the property.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



8. Approximate property size: 731-012-22

Lot size (in feet) Frontage _____
 Depth _____
 or approx. acreage _____

9. Condition: (check one)

a. Excellent b. Good c. Fair
 d. Deteriorated e. No longer in existence

10. Is the feature a. Altered? b. Unaltered?

11. Surroundings: (Check more than one if necessary)

a. Open land b. Scattered buildings
 c. Densely built-up d. Residential
 e. Commercial f. Industrial
 g. Other

12. Threats to site:

a. None known b. Private development
 c. Zoning d. Public Works project
 e. Vandalism f. Other



NOTE: The following (Items 14-19) for structures only.

14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood
f. Other
15. Is the structure: a. On its original site? b. Moved? c. Unknown?
16. Year of initial construction 1927 This date is: a. Factual b. Estimated
17. Architect (if known): John F. Murphy of Soule, Murphy, and Hastings
18. Builder (if known): Alex MacKellar
19. Related features: a. Barn b. Carriage house c. Outhouse d. Shed(s) e. Formal garden(s)
f. Windmill g. Watertower/tankhouse h. Other United Way Building i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This building was constructed in 1927 after the adobe on the same property was destroyed by the 1925 earthquake. The original adobe had been built in 1795 by the Arrellanes family. In 1910 it was sold to the Neighborhood House Association, who had it remodeled and added the fluted wood columns from the Aguirre House. The columns were then transferred to the new building. A column at the entrance porch to the north wing differs from the others and was probably one of the front portales columns of the Aguirre adobe. "The design and detail of both types of columns are of especial interest as they are an unique example of carved columns." The columns were most likely brought to Santa Barbara by boat.

In 1916 the Neighborhood House Association sold the adobe to the Associated Charities of Santa Barbara County. This organization moved into the new building and is still operating there by fulfilling its purpose of aiding the needy.

21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure
c. Economic/Industrial d. Exploration/Settlement e. Government f. Military
g. Religion h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Santa Barbara Adobes - Clarence Cullimore - 1948, pg. 15 Building Permits
Santa Barbara News-Press Article - August 5, 1973

50 Years Ago - Santa Barbara News-Press - November 11, 1977

23. Date form prepared: 11-30-78 By (name): Elizabeth S. Belscher
History of Family Service Agency - published by the Associated Charities.

Address: 4395 Via Esperanza City: Santa Barbara ZIP: 93110

Phone: 805-967-0659 Organization: Architectural and Historic Resources Survey

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CASA ARRELLANES

At 800 Santa Barbara Street on the corner of De la Guerra Street formerly stood the Arrellanes adobe house. This was probably the first house of consequence built in Santa Barbara outside of the confines of the presidio. It was begun by a Spaniard in 1795 and for many years was used as a residence combined with a general store where merchandise and liquors were sold. Several additions were made by subsequent owners before it became the home of Don Teodoro Arrellanes, a large, fine-looking rancharo, and his wife, Dona Josefa Rodriguez Arrellanes. Don Teodoro was the grantee of several neighboring ranchos. Their three children were raised here and still another generation of the Arrellanes family occupied it.

On March 5, 1910, it was sold to the Neighborhood House Association and was almost immediately remodeled. This is one of the first restorations in Santa Barbara of an historic old house converted to public use. It was during this remodeling that the original columns of the Arrellanes adobe were replaced by the elaborately carved and fluted ones that had formerly graced the corridors of the patio and the portales of the palatial Aguirre house. These columns were unearthed by Charles Edwards from a pile of old lumber, roofing tile and debris at the rear of the property once occupied by the Aguirre home, which stood a few yards east of the present Casa Carrillo. Roof tile from the same pile of discarded material was salvaged and re-used on the Arrellanes adobe restoration.

In the earthquake of 1925 the old Neighborhood House of adobe was badly damaged; as a result it was taken down and the present stucco house built in its place. The central portion of this building is reminiscent of the old adobe, although it is about fifty feet northeast of the original site. In the new building, two wings were added. The open porch columns were taken from the Neighborhood House, which had acquired them when remodeled in 1910, and were incorporated in the present stucco structure. A column of the entrance porch to the north wing differs from the columns on the main porch of the central portion and probably was one of the front portales columns of the old Aguirre adobe. The design and detail of both types of columns are of especial interest, as they are a unique example of carved columns. About two and one-half feet of the original columns have been sawed off at the bottom to make them fit their present position on the Neighborhood House. They are shown on page 87.



Aguirre Adobe, 1880s

By Walker A. Tompkins

News-Press Historian

The Casa Aguirre at 27 E. Carrillo St. was Santa Barbara's largest and most elegant Spanish-period residence from 1841 until the mid-1880s.

This elegance is not evident in today's rare picture from the past, reproduced from a stereoscope slide by Hayward and Muzzall, prominent photographers during the 1880s, who took it from atop the Clock Building at State and Carrillo Streets, looking north.

UNUSUAL for Spanish adobes, it was built as a quadrangle enclosing a square patio, with a roofed and pillared veranda fronting Carrillo Street. Today's view shows the white-plastered west wall. The original tile roof had been replaced with shingles.

Before going into the history of the Aguirre adobe, let's examine other details in the picture. The domed county courthouse, built in 1872, is at left center, fronting on Figueroa Street. The east end of the Carrillo Adobe, still standing at 11 E. Carrillo St., is at lower left.

Note that the slopes of Mission Ridge (Riviera) in the background are devoid of trees. Grand Avenue is the only street. The trapezoidal area on the hillside at right center was the white-fenced Catholic Cemetery, declared a health hazard by the city in 1874 and closed to further burials. St. Francis Hospital

now occupies the site of the cemetery, most of the burials having been transferred to a newer Catholic burying ground at Modoc Road and Hollister Avenue, and still later, in 1912, to Calvary Cemetery on Hope Avenue.

GETTING back to the Casa Aguirre:

Don Jose Antonio Aguirre was a wealthy French merchant with headquarters in San Diego, from whence he sent his trading ships to the Sandwich (Hawaiian) Islands and China. It was one of Aguirre's vessels which brought Bishop Garcia Diego y Moreno, California's first Bishop, to Santa Barbara in 1842.

Aguirre built the adobe, starting in 1839 and completing it in 1841, for his bride, Dona Francisco Estrudillo, daughter of a prominent San Diego family.

The roof was of red tile; the front porch was supported by 10 carved pillars supporting the eaves of the inner courtyard veranda were 12 imported hand-carved pillars in a spiral fluted design. Each window had tiny glass panes, matched only by the glazed windows of the Casa de la Guerra.

Aguirre imported hardwood from abroad for flooring, instead of the glazed tile in vogue among most wealthy Dons. There were 19 rooms opening on the patio, and the furnishings — antique mahogany pieces, crystal chandeliers, oil paintings and wall tapestries, were fit for a queen.

BUT ALAS, Don Jose's young wife died in childbirth. He later married her sister, Rosario, and they made the Casa Aguirre the social center of Spanish Santa Barbara.

In 1847 it became the headquarters of Stevenson's regiment. The soldiers stuck a flagpole in the drain hole of the patio's stone-paved floor, plugging it, and accumulated rainwater gradually seeped into the adobe walls and began the deterioration of the adobe. Later Augustine Janssens ran a store in the adobe.

The Sisters of Charity ran their St. Vincent's school for orphans there briefly in the late 1850s. Sheriff Charles Fernald, later a county judge, had his office and courtroom there. The adobe was occupied by Sheriff W. W. Twist when outlaw Jack Powers' gang staged a big gunfight in front of the Casa.

ONE OF Santa Barbara's first postoffices and election polling places was in the Casa Aguirre in the 1860's. Jose Lobero's orchestra rehearsed in the patio on star-lit evenings in the 1870s.

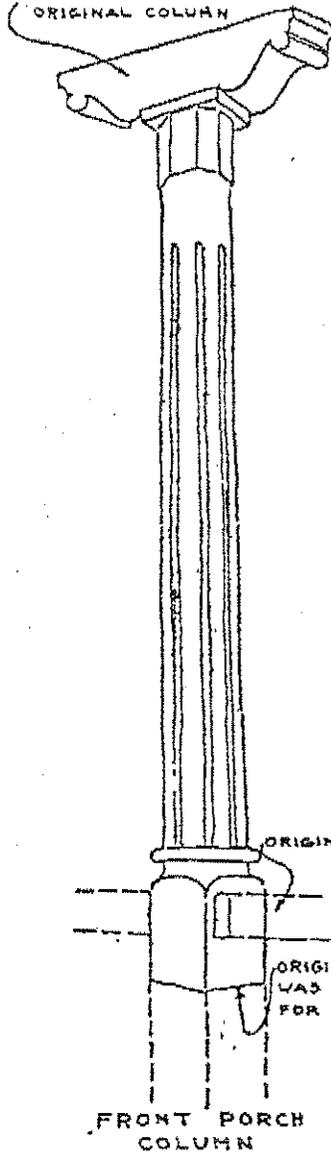
But the walls began to crumble, and in 1886 the once-elegant Aguirre Adobe was torn down. The wooden porch columns were thrown on a trash pile in the rear.

Today, the Little Town Club occupies the site of the Aguirre Adobe. The only physical traces of the house may be seen at 800 Santa Barbara Street — a few porch columns which some history-minded person salvaged in the 1900s.

One of the 10 square pillars from the casa's front porch may be seen today directly in front of the entrance of the Information Center, Santa Barbara branch of the National Council on Alcoholism, building 804 in the rear of the United Way headquarters. Seven of the 12 spiral-fluted wooden columns from Casa Aguirre's inner courtyard now support the porch of the Family Service Agency in Neighborhood House, 800 Santa Barbara Street, entrance off East De la Guerra Street.



DOLSTER NOT A PART OF ORIGINAL COLUMN



PATIO CORRIDOR COLUMN

COLUMNS OF THE AGUIRRE ADOBE

The column with straight fluting is the only remaining example of the ones that graced the main portales facing the street. The inner patio was surrounded with columns with the twisted design. Several of these are in use on the porch of the Neighborhood House.



THE Directors of the Neighborhood House Association of Santa Barbara beg to call your attention to the historic interest of the adobe building, recently purchased by them, to be used as a club house for the boys and girls of the neighborhood in which it is situated.

The house was built in 1786 by Teodoro Arellanes, owner at that time of the Guadalupe Ranch and a large portion of the Santa Maria valley. In choosing a building site he was doubtless influenced by the beauty of the situation near the De la Guerra Gardens, and by the fact that the land was just inside the Presidio walls, and only a short distance from the Parish Church, at the corner of Canon Perdido and Santa Barbara streets. He took for his architect, if we may dignify him by that term, the same Franciscan brother who planned the Old Mission, and the Indians who built the Mission erected also this town residence of Teodoro Arellanes. After one hundred and twenty years it is still in an almost perfect state of preservation, and the tiles on the roof, also well preserved, have, with time, acquired a deep rich coloring, which gives them a picturesqueness beyond what they originally possessed. The walls, three feet thick, differ from those of the usual adobe buildings in being formed of pulverized sand-stone mixed with adobe mud and water set in a mould, thus forming a construction similar to the concrete of the present day. The doors are large and of Spanish design, with lock and heavy keys, hand-wrought, and in the wall of one room is a niche, where in former days stood the patron saint.

The verandah, one hundred and eight feet long, must have sheltered many men and women who were prominent in the old days, for Gov. Pio Pico was a near neighbor, and in the vicinity were the homes of such families as the De la Guerras, the Reynas, the Morenos, the Romeros, and the Elizalde.

Teodoro Arellanes willed one-half of this house to his son Luis, and the other half to his daughter Maria Ignatia Elizalde, who in her turn willed her half of it to her son Julius J. Elizalde. The house has now been purchased from the widows of Luis Arellanes and Julius J. Elizalde, to whom their respective husbands conveyed their interests in their lifetimes.

Luis Arellanes married a daughter of Captain Carlos Ruiz of the Presidio, and was one of the first children whose birth is recorded in the books of the Old Mission, it being Thanksgiving day, ninety-three years ago. This Dona Josefa Arellanes, with the exception of the time spent on her ranch, has lived all her married life in this house, and had expected to die in it, but being assured it would be preserved and the name of Arellanes honored by the sale, she has agreed to part with her portion, which is now in the possession of the Neighborhood House Association of Santa Barbara.

From time to time there have been made wooden additions which the Association will remove, and, while making a few alterations necessary to adapt it to its present use, they intend to restore it as nearly as possible to its original lines.

The Association finds its resources taxed to the utmost to meet the current Neighborhood House expenses, but have already received substantial aid for a part of the work of restoration and adaptation.

The services of an architect will be given for planning and supervising the work, and two ladies have generously assumed the expense of remodelling and equipping two rooms, one to be used as a library and the other for the loom used in rug-weaving, while a third has donated a sum sufficient to furnish the kitchen. Still another lady is fitting a room exclusively for girls, where they may meet for social recreation as well as for their class work.

Much still remains to be done and we appeal to other friends for aid. The roof of the house, which was raised some years ago, should be lowered, an assembly and game room is to be equipped, a stage built, a small reception room furnished, and the grounds put in order for such games as baseball, tennis, and basket ball.

Any donations could be sent to the president, Mrs. A. B. Higginson, or to the treasurer, Miss Ednah Rich. In asking your aid, we feel that we are asking it for the common good, as well as for our Association, since the work the boys and girls are doing at the club is expected to fit them for useful lives in the community.

DIRECTORS OF THE NEIGHBORHOOD HOUSE ASSOCIATION

Santa Barbara, California, March 23, 1910.



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21 September 2008

City Council
City of Santa Barbara
Post Office Box 1990
Santa Barbara, CA 93102-1990

Dear Members of the City Council:

I am writing in my capacity as an advisory member of the Historic Landmarks Commission. As you may know, I advise the Historic Landmarks Commission (HLC) and members of the Planning Division who work with the Commission on matters regarding archaeological resources. Recently, I reviewed an archaeological report concerning a proposed development at 800 Santa Barbara Street, a property very close to the Santa Barbara Presidio. In my comments on this report, which had been submitted to the planning staff working with HLC, I expressed concern about the historic archaeological resources that may exist on this property, but I had agreed with the report's recommendation that earthmoving associated with the development be monitored by a qualified historical archaeologist.

My understanding is that the Santa Barbara Trust for Historic Preservation is appealing to the City Council the decision of the Historic Landmarks Commission to allow the proposed development to proceed with only the monitoring of earthmoving and investigation of any significant historic resources that may be exposed during earthmoving.

This past week I had occasion to meet with Robert Hoover, a colleague of mine who serves on the board of the Santa Barbara Trust for Historic Preservation. Dr. Hoover is a prominent historic archaeologist in California specializing in the mission period, and he has undertaken excavation in parts of the Santa Barbara Presidio. In our conversation Dr. Hoover expressed concern over the recommendation that monitoring of the earthmoving be the only measure taken to ensure that important historic resources are discovered, if they exist.

The report's recommendation was based on the results from archaeological excavation of ten shovel test-pits, and in Dr. Hoover's estimation this is far too small a sample of excavated deposits for identifying historic remains that may be present. Although the shovel test pits revealed a low density of historic artifacts, Dr. Hoover argues that they easily could have missed discrete features, examples of which are remains of small buildings, food processing areas, and refuse pits dating to the Presidio occupation period or shortly thereafter. He pointed out that such features as these may be surrounded by low-density historic artifacts of the type encountered in the shovel test pits. Of course such features, if they exist, would be very significant in that they would shed light on life at the Presidio (and possibly the early post-Presidio occupation of the area). The only way to determine whether such remains are or are

not present prior to land development would be a more extensive investigation of the sort normally designated in the City's MEA as a Phase 2 investigation.

Based on my conversation with Dr. Hoover, whose opinions on matters concerning historic archaeology I respect, I have concluded that a more thorough archaeological investigation ought to take place on the property in question to determine whether important historic archaeological resources are present. If they are, their significance should be assessed, and if significant, they should be carefully investigated prior to the beginning of land development. Monitoring of earthmoving, the current recommended measure, would not be an appropriate alternative, as damage to historic features by heavy equipment easily could occur, and too little time may be available for thorough exposure and documentation.

Sincerely,

Michael A. Glassow
Professor and Advisory Member of the Historic Landmarks Commission